



CITY PLANNING COMMISSION AGENDA

**THURSDAY, NOVEMBER 19, 2015
8:30 A.M.**

**CITY HALL COUNCIL CHAMBERS
107 NORTH NEVADA AVENUE
COLORADO SPRINGS, CO 80903**

CITY PLANNING COMMISSION MEETING PROCEDURES

MEETING ORDER:

The City Planning Commission will hold its regular meeting on **Thursday, November 19, 2015 at 8:30 a.m.** in the City Hall Council Chambers at 107 North Nevada Avenue, Colorado Springs, Colorado.

The Consent Calendar will be acted upon as a whole unless a specific item is called up for discussion by a Planning Commissioner, a City staff member, or a citizen wishing to address the Planning Commission.

When an item is presented to the Planning Commission the following order shall be used:

- City staff presents the item with a recommendation;
- The applicant or the representative of the applicant makes a presentation;
- Supporters of the request are heard;
- Opponents of the item will be heard;
- The applicant has the right of rebuttal;
- Questions from the Commission may be directed at any time to the applicant, staff or public to clarify evidence presented in the hearing.

VIEW LIVE MEETINGS:

To inquire of current items being discussed during the meeting, please contact the Planning & Development Team at 719-385-5905, tune into local cable channel 18 or live video stream at www.springsgov.com.

In accord with the Americans with Disabilities Act of 1990 ("ADA"), the City of Colorado Springs will not discriminate against qualified individuals with disabilities. Should you require an auxiliary aid and/or service to participate in an upcoming Planning Commission meeting, please contact the Land Use Review offices at (719) 385-5905 as soon as possible but no later than 48 hours before the scheduled monthly meeting so that we can do our best to accommodate your needs.

CITY PLANNING COMMISSION COMPREHENSIVE PLAN AND REVIEW CRITERIA

COMPREHENSIVE PLAN:

The City Planning Commission uses the Comprehensive Plan as a guide in all land use matters. The Plan is available for review in the Land Use Review Office, located at 30 S. Nevada Avenue, Suite 105. The following lists the elements of the Comprehensive Plan:

- Introduction and Background
- Land Use
- Neighborhood
- Transportation
- Natural Environment
- Community Character and Appearance
- 2020 Land Use Map
- Implementation

The Comprehensive Plan contains a land use map known as the 2020 Land Use Map. This map represents a framework for future city growth through the year 2020, and is intended to be used with the Comprehensive Plan's goals, policies, objectives and strategies. It illustrates a desired pattern of growth in conformance with Comprehensive Plan policies, and should be used as a guide in city land use decisions. The Comprehensive Plan, including the Land Use Map, may be amended from time to time as an update to city policies.

APPLICATION REVIEW CRITERIA:

Each application that comes before the Planning Commission is reviewed using the applicable criteria located in the *Appendix* of the Planning Commission Agenda.

CITY PLANNING COMMISSION APPEAL INSTRUCTIONS

In accordance with Chapter 7, Article 5, Part 906 (B) (1) of the City Code, “Any person may appeal to the City Council any action of the Planning Commission or an FBZ Review Board or Historic Preservation Board in relation to this Zoning Code, where the action was adverse to the person by filing with the City Clerk a written notice of appeal. The notice of appeal shall be filed with the City Clerk no later than ten (10) days after the action from which appeal is taken, and shall briefly state the grounds upon which the appeal is based.”

Accordingly, any appeal relating to this Planning Commission meeting must be submitted to the City Clerk (located at 30 S. Nevada Avenue, Colorado Springs, CO 80903) by:

Monday, November 30, 2015

A **\$176** application fee and a justification letter specifying your specific grounds of appeal shall be required. The appeal letter should address specific City Code requirements that were not adequately addressed by the Planning Commission. City Council may elect to limit discussion at the appeal hearing to the matters set forth in your appeal letter.

CITY PLANNING COMMISSION MEETING AGENDA THURSDAY, November 19, 2015

1. Approval of the Record of Decision (minutes) for the October 15, 2015 City Planning Commission Meetings
2. Communications
3. Consent Calendar.....Page 6
4. New Business Calendar (Item 4.A-4.B)Page 12
 Appendix – Review Criteria.....Page 36

CONSENT CALENDAR

ITEM NO.	PROJECT DESCRIPTION	PAGE NO.
<p>ITEM NO. A CPC CU 15-00066 (Quasi-Judicial)</p> <p>PARCEL NO.: 6427111070</p> <p>PLANNER: Michael Turisk</p>	<p>A request by John Nelson of John P. Nelson Associates on behalf of Ms. Desiree Toller of “Colorado’s Car Connection” for the approval of a Conditional Use Development Plan to establish an auto sales lot at the south portion a 1.21 acre property zoned PBC/CU/AO (Planned Business Center/Conditional Use with an Airport Overlay). The property is located at 1794 S. Academy Blvd.</p>	6

NEW BUSINESS CALENDAR

ITEM NO.	PROJECT DESCRIPTION	PAGE NO.
<p>ITEM NO. 4.A-4.B CPC CU 15-00097 (Quasi-Judicial)</p> <p>CPC R 15-00098 (Quasi-Judicial)</p> <p>PARCEL NO.: 6327209034, 6327209034</p> <p>PLANNER: Hannah Van Nimwegen</p>	<p>A request by Classic Consulting on behalf of Front Row Properties, LLC for approval of the following development applications:</p> <ol style="list-style-type: none"> 1. A conditional use to allow a fast food use within the OC(Office Complex) zone district. 2. An administrative relief to City Code Section 7.4.203 to allow for 31 parking stalls where 32 parking stalls are required. <p>The subject property consists of 0.89 Acres and is located at 3220 Austin Bluffs Parkway.</p>	12

CONSENT CALENDAR

CITY PLANNING COMMISSION AGENDA

ITEM NO: A.1

FILE NO:

CPC CU 15-00066 – QUASI-JUDICIAL

STAFF: MICHAEL TURISK

PROJECT: COLORADO'S CAR CONNECTION
APPLICANT: JOHN NELSON, JOHN P. NELSON ASSOCIATES
OWNER: CAREFREE CAR WASH, LLC



PROJECT SUMMARY:

1. Project Description: A Conditional Use Development Plan for an auto sales lot for “Colorado’s Car Connection” On a PBC (Planned Business Center) zoned property. The 1.2 acre property is located on the west side of S. Academy Blvd. north of S. Chelton Rd.
2. Applicant’s Project Statement: **(FIGURE 1)**
3. Planning and Development Team’s Recommendation: **Approval of the application with one (1) technical modification.**

BACKGROUND:

1. Site Address: 1794 S. Academy Blvd. **(FIGURE 2)**
2. Existing Zoning/Land Use: PBC/CU/AO (Planned Business Center with a previously approved Conditional Use and the Airport Overlay)
3. Surrounding Zoning/Land Use:
 - North: PBC (Planned Business Center)/retail (Wal-Mart)
 - South: PBC (Planned Business Center)/retail (O’Reilly Auto Parts)
 - East: PBC (Planned Business Center)/retail (Pace Bally Plaza; Academy Liquor Mart)
 - West: PBC (Planned Business Center)vacant
4. Comprehensive Plan/Designated 2020 Land Use: This property is designated as Mature Redevelopment Corridor on the City’s 2020 Land Use Map.
5. Annexation: The property was annexed in 1872 as part of the Town of Colorado Springs.
6. Master Plan/Designated Master Plan Land Use: The property is located in the boundaries of the Academy Boulevard Corridor Great Streets Plan which was adopted as a Master Plan element in 2011.
7. Subdivision: Pikes Peak Park; Subdivision 21; Resub of Blocks 11 and 12; March 1971
8. Zoning Enforcement Action: There is currently an active enforcement action due to the auto sales activities.
9. Physical Characteristics: The property is developed with one structure currently used as an office and an associated parking area.

STAKEHOLDER PROCESS AND INVOLVEMENT:

The standard City notification and posting process was implemented; 19 property owners within 500-feet of the property were notified of the application. To date, Staff has received no responses in support or opposition to the conditional use application and associated development plan. The site was also posted prior to the City Planning Commission meeting.

ANALYSIS OF REVIEW CRITERIA AND MAJOR ISSUES

Conditional Use

This is a request for a conditional use to legalize an auto sales lot on a 1.2-acre site zoned PBC (Planned Business Center) and located at 1794 S. Academy Blvd. The auto sales activity came to staff's attention via an anonymous complaint; follow-up by City enforcement staff revealed that the auto sales use requires approval of a Conditional Use in the PBC zoning district.

The subject property is located in an area/corridor that is almost exclusively zoned PBC, characterized by a number of established commercial-type uses along this portion of S. Academy Blvd. The property is bisected by Delta Drive, a local public collector; however, only that portion of the subject property south of Delta Drive is the subject of this conditional use request. Said portion of the property was formerly a fueling station and accessory convenience store ("Shamrock"/"Carefree Convenience"), both permitted uses in the PBC zoning district. The northern portion of the property includes a now defunct self-service automotive wash, also a permitted use in PBC. Other automotive-related uses permitted in the PBC zoning district include automotive service and automotive rentals; however, automotive repair garages and *automotive sales* require conditional use approval, hence this request.

The project may be characterized as urban infill, as the property is being repurposed for another auto-related use.

Note that the Planning Commission may approve and/or modify a conditional use application in whole or in part, with or without conditions, only if all three (3) of the following findings are made:

A. Surrounding Neighborhood: That the value and qualities of the neighborhood surrounding the conditional use are not substantially injured.

Given the nature of development in the immediate area and the comparatively small-scale of the auto sales operation, staff determines that the sales activities related to "Colorado's Car Connection" are in harmony with area land uses and thus would not have deleterious impact upon the neighborhood.

B. Intent of Zoning Code: That the conditional use is consistent with the intent and purpose of this Zoning Code to promote public health, safety and general welfare.

Staff finds that the conditional use is consistent with the spirit of the Zoning Code in that the use is one that is comparatively benign, would integrate into the fabric of surrounding commercial-type land uses, and therefore would not threaten public health, safety and general welfare.

C. Comprehensive Plan: That the conditional use is consistent with the Comprehensive Plan of the City.

As noted above, the Comprehensive Plan designates this area as Mature Redevelopment Corridor. Per the Comprehensive Plan, Mature Redevelopment Corridors "...line older arterial streets and state highways with retail uses and auto-oriented services developed in a typical

strip commercial pattern...These corridors also include significant infill and redevelopment opportunities.”

Review of the resubmitted Development Plan indicates that only very minor changes are needed prior to approval. After careful consideration, Staff supports the Conditional Use request as proposed.

CONFORMANCE WITH COMPREHENSIVE PLAN

There is one Comprehensive Plan policy and one objective that support this particular conditional use request, including:

- Policy LU 201: Promote a Focused, Consolidated Land Use Pattern - Locate new growth and development in well-defined contiguous areas in order to avoid leapfrog, scattered land use patterns that cannot be adequately provided with City services; and
- Objective LU 4: Encourage Infill and Redevelopment - Encourage infill and redevelopment projects that are in character and context with existing, surrounding development.

It is the finding of the City’s Community Development Department that the Conditional Use for an auto sales lot at 1725 S. Academy Blvd. would substantially conform to the City’s Comprehensive Plan 2020 Land Use Map as well as the Plan’s goals and objectives.

The 2011 Academy Boulevard Corridor Great Streets Plan does not recommend specific land uses for this area, but does recommend promoting a more “urban, street oriented, connected and multi-modal approach” for this corridor. For example, the Wal-Mart community market immediately to the north was encouraged to and did re-orient their building and parking to further these objectives. Staff and the Great Streets Plan acknowledge the evolving and incremental nature of land use change along this corridor. As such the “re-occupation” of vacant buildings and spaces is generally encouraged. However, from a triggering standpoint, if and when substantial physical improvements are proposed for this site (especially for buildings) the development plans should further the objectives of the Great Streets Plan.

STAFF RECOMMENDATION

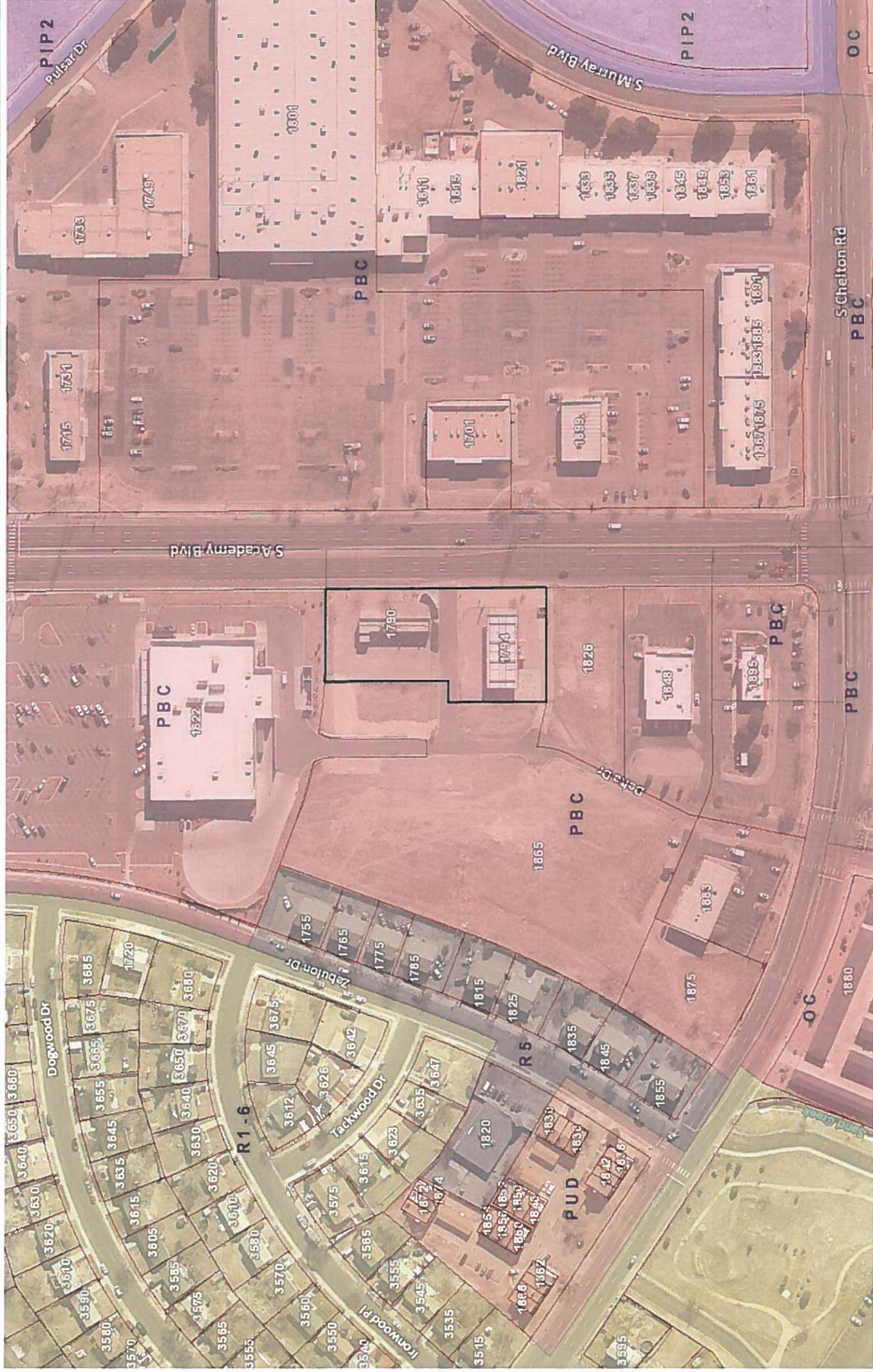
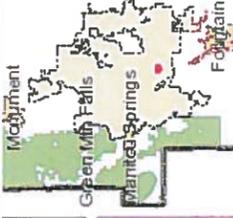
Item No: A.1 CPC CU 15-00066 - Approve the conditional use Development Plan for an auto sales lot for “Colorado’s Car Connection” based upon the findings that the conditional use development plan complies with the three (3) criteria for granting of conditional uses and complies with the development plan criteria as set forth in City Code Section 7.5.704 and 7.5.502, with the following technical modification:

1. *Any automotive repair on site shall be accessory to the principal auto sales activities.*

PROJECT STATEMENT: COLORADO'S CAR CONNECTION

Colorado's Car Connection, an auto sales facility, is occupying a former auto service station building site. Automotive sales is a logical use for a previously vacant gas station site and is compatible with the adjoining car wash and nearby uses. The use is also consistent with the City's Comprehensive Plan and the desire by the City to encourage productive uses for potentially distressed properties in this area of S. Academy Blvd.

**Colorado's Car Connection
 CPC CU 15-00066**



Legend

- Parcels
- Base Zone - Fill
 - A
 - R
 - R1-9
 - R1-6
 - R2
 - R4
 - R5
 - TND
 - OR
 - OC
 - PBC
 - C5
 - C6
 - PIP1
 - PIP2
 - M1
 - M2
 - PF
 - PK
 - APD
 - PCR
 - PUD
 - SU
 - UND
- National Forest
- Parks
- Military
- Towns
- County Boundary
- Place Labels
- Bus Stops
- Hospitals
- Schools
- Streets
 - Interstate
 - Major Roads
 - Local Roads

1:1,759

293.2 0 146.59 293.2 Feet

NAD_1983_StatePlane_Colorado_Central_FIPS_0502_Feet
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Notes

FIGURE 2

PROJECT SUMMARY:

1. Project Description: This project includes concurrent applications for a Conditional Use Development Plan and an Administrative Relief for a 0.88-acre site at 3220 Austin Bluffs Parkway, located west of the northwest corner of Austin Bluffs Parkway and American Drive. The applicant is requesting a Conditional Use to allow a fast food drive-through restaurant in the OC (Office Complex) zoning district. The accompanying Administrative Relief is requested to permit 31 parking stalls where 32 are required. **(FIGURE 1)**
2. Applicant's Project Statement: **(FIGURE 2)**
3. Planning and Development Team's Recommendation: Staff recommends approval of the applications.

BACKGROUND:

1. Site Address: 3220 Austin Bluffs Parkway
2. Existing Zoning/Land Use: OC (Office Complex) / vacant, undeveloped
3. Surrounding Zoning/Land Use: **(FIGURE 3)**
 - North: R1-6000 / Single-family residences
 - South: PBC / Austin Bluffs Parkway, offices, commercial uses
 - East: OC / Drive-through fast food
 - West: OC / Mini-storage warehouses
4. Comprehensive Plan/Designated 2020 Land Use: General Residential
5. Annexation: Garden Ranch Addition No. 3
6. Master Plan/Designated Master Plan Land Use: None.
7. Subdivision: Front Row Subdivision
8. Zoning Enforcement Action: None.
9. Physical Characteristics: The property is undeveloped with no significant changes in grade or other natural features.

STAKEHOLDER PROCESS AND INVOLVEMENT:

The public process involved with the review of these applications included the posting of the site and sending of postcards to 67 property owners within 500 feet of the subject site. The notification provided information about the project and instructions of how to submit comments. Staff received two formal comments in response to the notification; one from a property owner in the adjacent residential neighborhood which the applicant responded to; and the other from a property owner in the Greencrest neighborhood south of Austin Bluffs Parkway which staff responded to **(FIGURE 4)**. The concerns from the neighbor in the adjacent neighborhood were primarily regarding traffic generated by the site, buffering, and light and sound emanating from the site. All applicable agencies and departments were asked to review and comment. No significant concerns were identified. All issues and concerns were incorporated into the development plan or provided as technical modifications. An additional set of postcards will be mailed to the same property owners and the site will be posted prior to the Planning Commission's public hearing.

ANALYSIS OF REVIEW CRITERIA/MAJOR ISSUES/COMPREHENSIVE PLAN & MASTER PLAN CONFORMANCE:

1. Review Criteria / Design & Development Issues:

The applications under review are for a Conditional Use Development Plan to permit a drive-through fast food restaurant within the OC (Office Complex) zoning district, and for an Administrative Relief to allow 31 parking stalls where 32 would be required. On February 20, 2014, City Planning Commission approved a Conditional Use Development Plan for the adjacent drive-through Dunkin Donuts located to the east of the subject site. This proposal also included a conceptual drawing for the subject site and illustrated a sit-down restaurant.

The site is located within a strip of commercial uses north of Austin Bluffs Parkway, and backs up to a single-family residential neighborhood. In order to buffer the single-family residences from the proposed use, the applicant has provided a 15 foot vegetated landscape buffer in addition to the existing six-foot tall wooden fence. The nearest site lighting to residential homes will be fully shielded to help prevent light spillover. The site also provides a sidewalk connection to the building entrance from Austin Bluffs Parkway, a bike rack, and an outdoor patio.

Due in part to the comments made by the concerned neighbor, a Traffic Impact Study was requested and provided by the applicant. The traffic created by the fast food restaurant was reviewed and no additional traffic improvements were required for the site. Cross access easements allow the site to be accessed from Meadowland Boulevard or from Austin Bluffs Parkway. This driveway will utilize an existing curb cut.

The reduction of one parking stall will not result in any adverse impacts to the subject property or to the surrounding properties. Relief of the requirement is justified due to constraints and burdens existing on the property which are not the fault of the property owner or applicant. For instance, along Austin Bluffs Parkway there is an approximate 35' wide (width varies) Permanent Public Utility Easement which spans the length of the site. For a portion of the site there is an additional approximate 25' wide (width varies) Public Utility Easement. These easements burden the site and limit the potential site layouts.

2. Conformance with the City Comprehensive Plan:

The Comprehensive Plan designates this site as General Residential. Within the general residential designation a secondary use is neighborhood center that serves the neighborhood. The drive-through restaurant proposed with this application will serve the residences surrounding the site.

Policy LUM 202: General Residential

Utilize the General Residential designation for the vast majority of existing and future residential areas. This designation includes a wide variety of residential uses, as well as uses that serve and support individual neighborhoods.

Strategy LUM 202c: General Residential Secondary Uses

Include supporting uses such as neighborhood centers with pedestrian-oriented, low-impact shops and services, parks and recreation areas, religious institutions, and schools. Neighborhood centers may range up to 5 acres in size. Consider proposed secondary uses that individually or cumulatively exceed five acres, as proposed Map amendments from General Residential to a more intense Map designation to allow significant land use changes to be analyzed on a neighborhood and citywide basis.

3. Conformance with the Area's Master Plan:

There is not a Master Plan for this site.

STAFF RECOMMENDATION:

ITEM NO.: 4.A CPC CU 15-00097 – CONDITIONAL USE

Approve the Conditional Use for the Austin Meadows Business Center-Taco Bueno, based upon the finding that the Conditional Use complies with the review criteria in City Code Section 7.5.704 and 7.5.502.E, subject to compliance with the following technical and/or informational plan modifications:

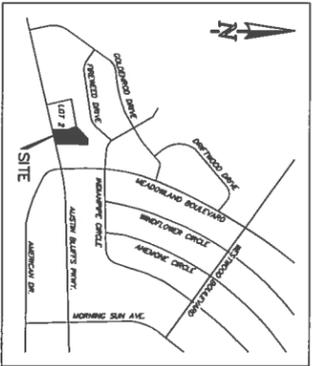
Technical and Informational Modifications to the Conditional Use:

1. Revise the Landscape Plan to reflect the new light pole locations as shown on the Site Plan sheet.
2. Label the north boundary as a 15' Landscape Buffer.

ITEM NO.: 4.B CPC R 15-00098 – ADMINISTRATIVE RELIEF

Approve the Administrative Relief for the Austin Meadows Business Center-Taco Bueno, based upon the finding that the Administrative Relief complies with the review criteria in City Code Section 7.5.1102.

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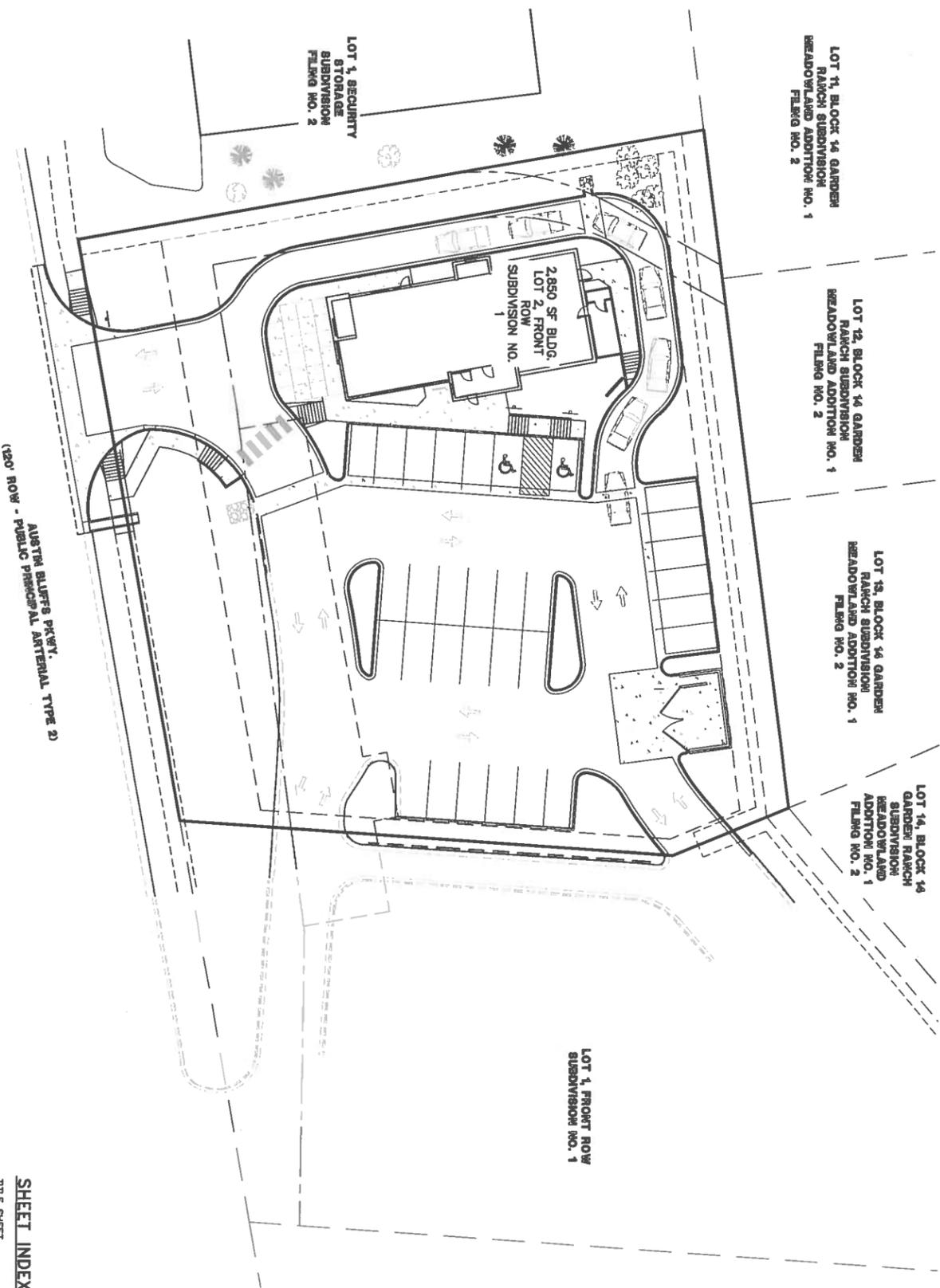


AUSTIN MEADOWS BUSINESS CENTER

CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

TACO BUENO CONDITIONAL USE

SEPTEMBER 2015



LEGAL DESCRIPTION:
LOT 2, FRONT ROW SUBDIVISION NO. 1
CONTAINING 38,703 SF (0.89 ACRES).

SITE DATA:
PREVIOUS DEVELOPMENT PLAN: AUSTIN MEADOWS BUSINESS CENTER WINTER 2015
DEVELOPMENT SCHEDULE: FRONT ROW PROPERTIES, LLC
PROPERTY OWNER: 154 DEL ORO CIRCLE, COLORADO SPRINGS, COLORADO 80919
APPLICANT: CLASSIC CONSULTING ENGINEERS & SURVEYORS, 619 NORTH CASCADE AVENUE, SUITE 200, COLORADO SPRINGS, CO 80903

SITE ADDRESS: 3220 AUSTIN BLUFFS PKWY., LOT 2 - 38,703 SF (0.89 AC.)
TAX SCHEDULE #: 6327209034
ZONING: OC
PLANNED USE: RESTAURANT/FAST FOOD (CONDITIONAL USE)
BLDG. SIZE: 2,850 SF
OUTDOOR SEATING AREA: 600 SF MAX.
BUILDING OVERALL LOT COVERAGE: 7.4%
LOT COVERAGE BY IMPERVIOUS SURFACES: 65.1%

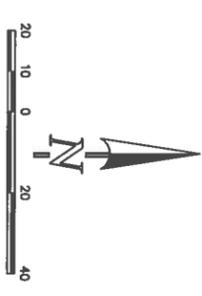
OC ZONE DISTRICT STANDARDS:
MAX BUILDING HEIGHT: 45'
LANDSCAPE SETBACKS: ADJACENT TO AUSTIN BLUFFS PKWY. - 25'
BUILDING SETBACKS: 25' (FRONT ALONG AUSTIN BLUFFS PKWY.), 20' (SIDE), 20' (REAR)
PARKING REQUIREMENTS: DRIVE-IN / FAST FOOD - 1 SPACE/100 SF → 2850 SF / 100 SF = 28.5 ≈ 28 STALLS
OUTDOOR SEATING - 1 SPACE/200 SF → 600 SF PATIO/200 SF = 3 STALLS
HANDICAP PARKING - 2 SPACES FOR 25+ STALLS (INCLUDED IN TOTAL)
TOTAL PARKING - 32 STALLS REQUIRED

PARKING PROVIDED: 31 STALLS (TOTAL)
2 HANDICAP STALLS INCL. IN TOTAL
ADMINISTRATIVE RELIEF: REQUEST FOR ADMINISTRATIVE RELIEF FOR 1 PARKING STALL (PROVIDING 31 INSTEAD OF 32 STALLS TOTAL)

NOTES:
1. NO PORTION OF THIS SITE IS LOCATED WITHIN F.E.M.A. DESIGNATED FLOODPLAIN, AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08040303AF, EFFECTIVE MARCH 17, 1997.
2. REFERENCE THE FINAL PLAT FOR FRONT ROW SUBDIVISION NO. 1 (REC. NO. 214173440)
3. THE CONDITIONAL USE REQUESTED IS FOR A FAST FOOD RESTAURANT ON LOT 2.
4. ADMINISTRATIVE RELIEF IS BEING REQUESTED TO PROVIDE 31 PARKING STALLS WHEN 32 ARE REQUIRED UNDER THE DRIVE-IN/FAST FOOD COMMERCIAL USE.

SHEET INDEX:

- 1 OF 9 TITLE SHEET
- 2 OF 9 SITE PLAN SHEET
- 3 OF 9 PRELIMINARY GRADING/EROSION CONTROL PLAN
- 4 OF 9 PRELIMINARY UTILITY PLAN
- 5 OF 9 FINAL LANDSCAPE PLAN
- 6 OF 9 IRRIGATION PLAN
- 7 OF 9 BLDG. ELEVATIONS/LIGHTING DETAILS
- 8 OF 9 LIGHTING PLAN
- 9 OF 9



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(719)786-0700 (cell)

CLASSIC CONSULTING ENGINEERS & SURVEYORS

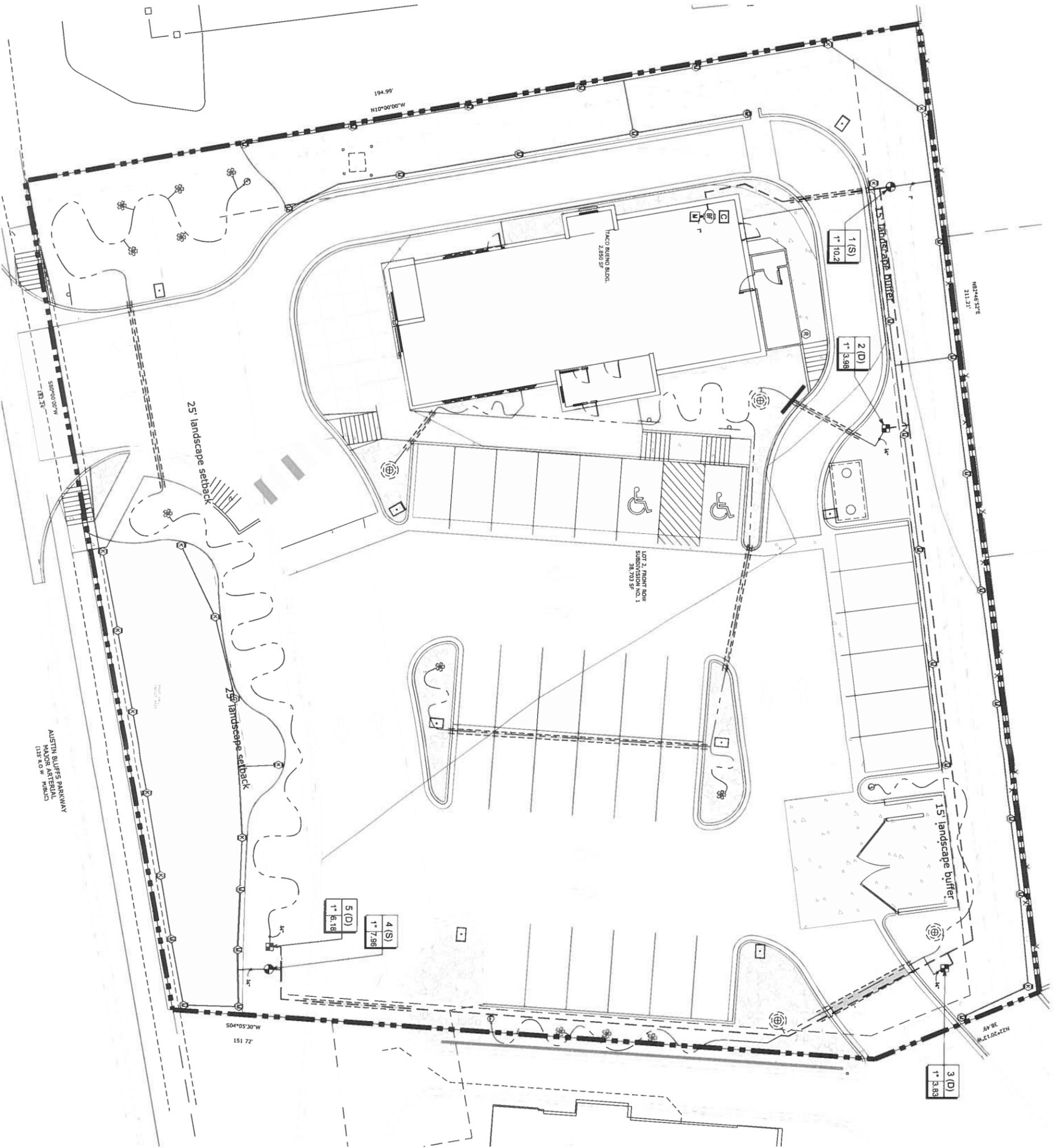
DESIGNED BY: MAIN SCALE: DATE: 10/27/15
DRAWN BY: RTT (H) 1" = 50' SHEET: 1 OF 9
CHECKED BY: (V) 1" = N/A JOB NO.: 2489.00

AUSTIN MEADOWS BUSINESS CENTER
TACO BUENO CONDITIONAL USE
TITLE SHEET

CPC CU 15-00097

FIGURE 1

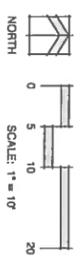
P:\Taco Bueno Restaurants\Austin Bluffs Taco Bueno\Drawings\Planning\Final\and\Taco Bueno_IRR.dwg [RRR] 10/27/2015 3:27:35 PM jromero



IRRIGATION NOTES:

1. CONTRACTOR TO CONNECT 1" MAINLINE PIPE TO 1" COPPER STUB-OUT ON OUTSIDE OF BUILDING.
2. PULVERING CONTRACTOR TO INSTALL MAINLINE STUB-OUT AND BACK FLOW PREVENTER.
3. CONTRACTORS TO COORDINATE THE CONNECTION TO THE MAINLINE STUB, EXTEND COPPER PIPE TO IRRIGATION MAINLINE DEPTH 18" BELOW FINISH GRADE.
4. ALL VALVE BOXES SHALL BE SUPPORTED BY CONCRETE BLOCK (MIN. 4 PER BOX). INSTALL BLOCKS IN A MANNER THAT WILL PREVENT CONTACT WITH PIPING, WIRES, AND VALVE.
5. IRRIGATION CONTROL WIRE SHALL BE COMMON TRENCH WITH MAINLINE AND SHALL HAVE SEPARATE SLEEVE WHERE CROSSING ALL HARD CONSTRUCTION.
6. THE CONTRACTOR SHALL ADJUST ALL VALVES AND SPRAY NOZZLES FOR OPTIMUM COVERAGE.
7. CONTRACTOR SHALL TAPE CLOSED ALL SLEEVE PIPE OPENINGS TO PREVENT DEBRIS FROM ENTERING SLEEVES.
8. CONTRACTOR SHALL EXTEND 120-VOLT A.C. FROM EXISTING POWER TO PROPOSED CONTROLLER LOCATION. ALL ELECTRICAL WORK SHALL BE PER CODE AND N.E.C. STANDARDS.
9. INSTALL IRRIGATION CONTROLLER INSIDE WATER CLOSET/MECHANICAL ROOM, BUILDING IN CONDUIT. COORDINATE INSTALLATION OF CONDUIT AND WALL PENETRATION WITH OWNERS REPRESENTATIVE.
10. THIS SYSTEM IS DESIGNED AT A MINIMUM 30 PSI STATIC WATER PRESSURE AND 36 GPM. THE CONTRACTOR SHALL VERIFY THE ACTUAL STATIC WATER PRESSURE PRIOR TO CONSTRUCTION AND INFORM THE LANDSCAPE ARCHITECT OF RESULTS IF MODIFICATIONS MUST BE MADE PRIOR TO CONSTRUCTION.
11. DRAWINGS ARE DIAGNOSTIC. IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE OF PLANTING AREAS FOR CLARITY ONLY. CONTRACTOR SHALL AVOID CONTACTS WITH PLANT MATERIALS AND ARCHITECTURAL FEATURES ALL PIPING AND WIRING SHALL BE INSTALLED IN PROTECTIVE AND FINISHING AREAS ON IN SLEEVES. NO PIPING UNDER TREES OR SHRUBS WILL BE ACCEPTED.
12. MINIMUM PIPE SIZE SHALL BE 3/4". IF A SECTION OF UN-SIZED PIPE IS LOCATED REFER TO THE TWO SIZED SECTIONS THE UN-SIZED PIPE SHALL BE THE SAME SIZE AS THE TWO SIZED SECTIONS.
13. SHOULD COLORADO SPRINGS UTILITIES DESIGNATE A WATER SHORTAGE, TURF RESTRICTION AND IRRIGATION SCHEDULE SHALL REFLECT THE DESIGNATED RESTRICTIONS. CONTRACTORS AND BUILDING OWNERS ARE ADVISED TO CONTACT CSU CUSTOMER SERVICE AT 719-448-4800

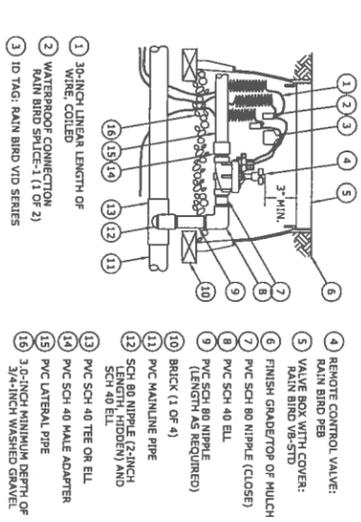
SEE SHEET 7 OF 9 FOR
 IRRIGATION SCHEDULE AND
 DETAILS



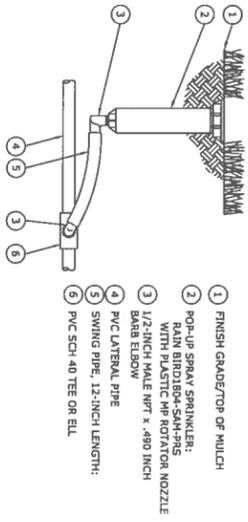
<p>PLANNING SHEET NUMBER 6 OF 9 CPC CU 15-00097</p>	<p>SHEET TITLE IRRIGATION PLAN</p>	<p>SCALE / REVISION</p>	<p>DATE 10.27.15 JAR CIVIL COMMENTS</p>	<p>PROJECT #/FO 3220 Austin Bluffs Pkwy. IRRIGATION PLAN</p>	<p>DATE 9/17/15 PROJECT NO. 1. Romero PREPARED BY J. Romero</p>	<p>PLANNER / LANDSCAPE ARCHITECT NES N.E.S., Inc. 619 N. Cascade Avenue, Suite 200 Colorado Springs, CO 80903 Tel. 719.471.0073 Fax 719.471.0267 www.nescolorado.com © 2012. All Rights Reserved.</p>
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FIGURE 1

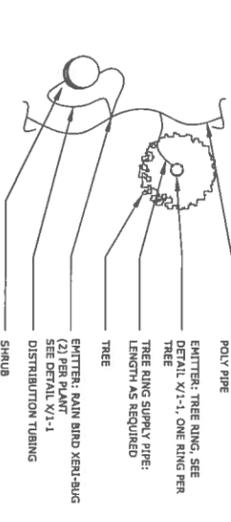
P:\Taco Bueno Restaurants\Austin Bluffs Taco Bueno\Drawings\Planning\Visual\A&T\Taco Bueno_IRR.dwg (IRR-DETAILS) 10/26/2015 4:27:50 PM jromero



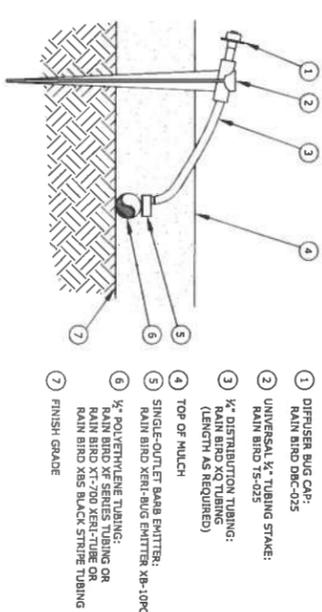
1 AUTOMATIC VALVE ASSEMBLY
SCALE: NOT TO SCALE



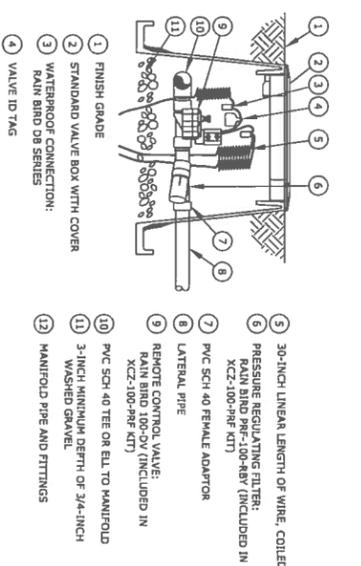
3 POP-UP SPRINKLER
SCALE: NOT TO SCALE



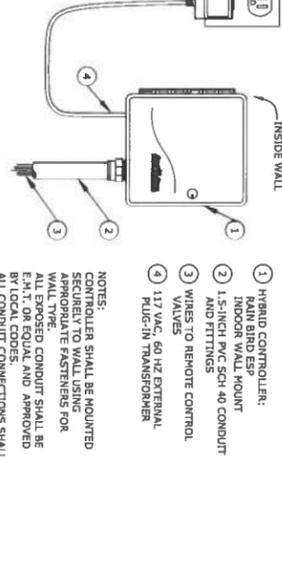
00 TYPICAL DRIP EMITTER PLACEMENT
SCALE: NOT TO SCALE



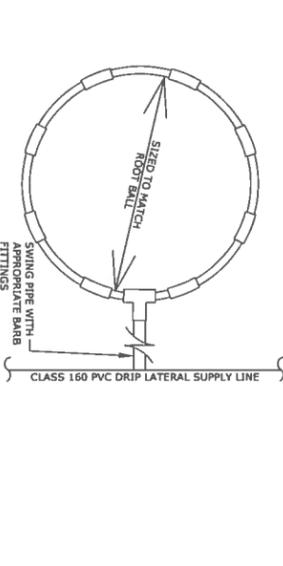
00 DRIP EMITTER (TYP.)
SCALE: NOT TO SCALE



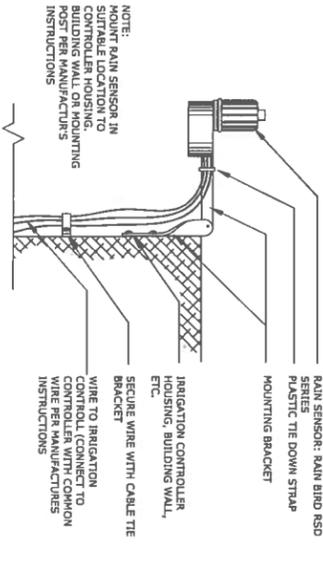
2 AUTOMATIC DRIP VALVE & FILTER ASSEMBLY
SCALE: NOT TO SCALE



4 WALL MOUNT AUTOMATIC CONTROLLER
SCALE: NOT TO SCALE



6 TREE RING (TYP.)
SCALE: NOT TO SCALE

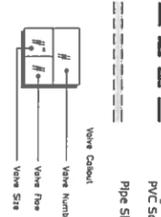


8 RAIN SENSOR ASSEMBLY
SCALE: NOT TO SCALE

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
⊕	Hunter M91000 PRC05-04-RS40-CV Pressure Regulating Filter with check valve. Pressure regulated to 40 psi (2.76 bar). HP nozzle on PRC540 body. M=Monsoon adj. spr. 90 to 210, L=Light Blue 210 to 270 spr. O=Olive 350 spr.	28	35
⊕	Hunter MP2000 PRC05-04-RS40-CV Tur Rodator, 4" (101.6 cm) pop-up with factory installed direct valve, pressure regulated to 40 psi (2.76 bar), HP nozzle on PRC540 body. M=Monsoon adj. spr. 90 to 210, L=Light Blue 210 to 270 spr. O=Olive 350 spr.	14	35
⊕	MANUFACTURER/MODEL/DESCRIPTION Rain Bird KCZF-100-PRF Rain Bird KCZF-100-PRF Pressure Regulating Filter at 40psi and MDCRF Fittings. 3gm-.15gm.	3	
⊕	Rain Bird MDCFCAP Dripless Flush Valve cap in compression fitting coupler.	3	
⊕	Tree Ring	15	

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
⊕	Rain Bird PEB-RSD 1.5" x 1.5" Plastic Industrial Valve, Low Flow Operating Capability, Globe Configuration, With Pressure Regulator Module.	2	
⊕	Rebo 825V 1" Reduced Pressure Backflow Preventer	1	
⊕	Rain Bird ESP-SM3 10 Station, Hybrid Modular Outdoor Controller.	1	
⊕	Rain Bird RSD-BEX Rain Sensor, with metal latching bracket, extension wire.	1	
⊕	Water Meter 1" Irrigation Lateral Line: Polyethylene and PVC Class 200 Polyethylene SDR-7 up to 1-1/4", then PVC Class 200 SPR 21 for 1-1/2" and larger. Only lateral transition pipe sizes 1" and above are indicated on the plan, with all others being 3/4" in size.	1	
⊕	Irrigation Lateral Line: Polyethylene and PVC Class 160 SDR 21 for 1-1/2" and larger. Only lateral transition pipe sizes 1" and above are indicated on the plan, with all others being 3/4" in size.	394.4 L.F.	
⊕	Irrigation Mainline: PVC Schedule 40 PVC Schedule 40 irrigation pipe.	2157.7 L.F.	
⊕	Pipe Sleeve: PVC Schedule 40		



VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	PSI	GPM
3 (D)	Rain Bird PRC-100-PRF	1"	Drip Emmitter	37.05	6.18
3 (D)	Rain Bird KCZF-100-PRF	1"	Area for Drip Emitters	37.05	3.83
2 (D)	Rain Bird KCZF-100-PRF	1"	Area for Drip Emitters	31.41	3.98
1 (S)	Rain Bird PEB-RSD	1"	Turf Rotary	38.56	10.23

SEASONAL IRRIGATION SCHEDULE

VALVE NO.	1ST GROWING SEASON ESTABLISHMENT				SPRING				SUMMER				FALL				
	DAYS (WEEK)	TIME (MINS.)	DAYS	TIMES PER/DAY	DAYS (WEEK)	TIME (MINS.)	DAYS	TIMES PER/DAY	DAYS (WEEK)	TIME (MINS.)	DAYS	TIMES PER/DAY	DAYS (WEEK)	TIME (MINS.)	DAYS	TIMES PER/DAY	
1	7	12	2	2	12	1	4	18	1	2	10	1	10	1	1	1	1
2	3	30	1	1	90	1	1	120	1	1	90	1	90	1	1	1	1
3	3	30	1	1	90	1	1	120	1	1	90	1	90	1	1	1	1
4	5	20	2	3	15	1	4	20	1	2	15	1	15	1	1	1	1
5	3	30	1	1	90	1	1	120	1	1	90	1	90	1	1	1	1

NOTE: THIS SCHEDULE IS A RECOMMENDATION. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANT SURVIVAL DURING THE ESTABLISHMENT PERIOD.

Land Planning
Landscape
Architecture
Urban Design

NBS

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Colorado Springs, CO 80903
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IRRIGATION PLAN

3220 Austin Bluffs Plwy.,
AUSTIN BLUFFS

TACO BUENO

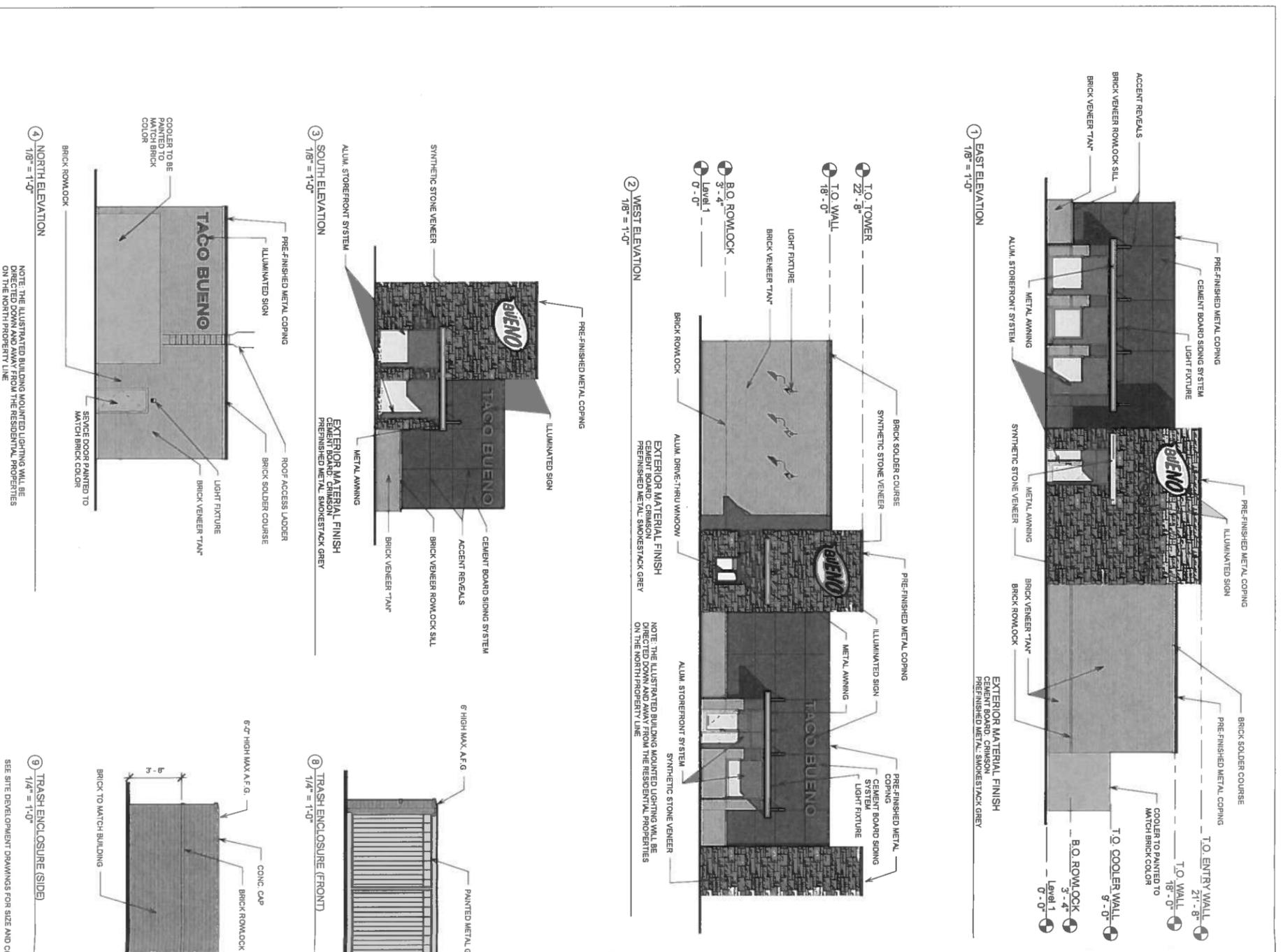
DATE: 9/17/15
PROJECT NO: 11600000
REVISION BY: J. Romero

DATE: 10/27/15
BY: JAR
DESCRIPTION: CIV COMMENTS

IRRIATION DETAILS

7 OF 9
CPC CU 15-00097

FIGURE 1



NOTE: SIGNAGE IS NOT APPROVED WITH THIS DEVELOPMENT PLAN, A SIGN PERMIT IS REQUIRED.

NOTE: ALL LIGHTING WILL BE FULL CUTOFF.

TECH LIGHT

FEATURES & SPECIFICATIONS

APPLICATION – The DCL Large Die Cast Area Light is designed for general purpose area lighting. It is the perfect choice for lighting large open areas for safety and security. Wide roadway applications, parking areas, or even wall mount applications for security lighting are all suitable applications for this fixture. The multiple mounting options make this fixture economical and versatile.

CONSTRUCTION – The housing and door frame are constructed of die cast aluminum. The flat tempered glass lens is sealed in place and a door gasket is provided for weather light protection, ETL listed for wet locations.

FINISH – A Super Durable Polyester powder coat finish is electrostatically applied in our state of the art paint facility. Standard colors available: Black, Bronze, US Green, White. Custom colors available upon request.

OPTICAL SYSTEM – Made with a state of the art high performance reflectors that use high gloss components to achieve precise photometric distributions. The fixture is a full cut-off light fixture and is Star Light Friendly in the horizontal position only.

ELECTRICAL SYSTEM – Available in 400W thru 1000W standard metal halide, pulse-start metal halide, and high pressure sodium. Comes standard with a 4KV pulse rated mogul base socket. Each 80HZ CWA multi-lamp, 480V, or 5-lamp ballast is pre-wired and installed for convenience.

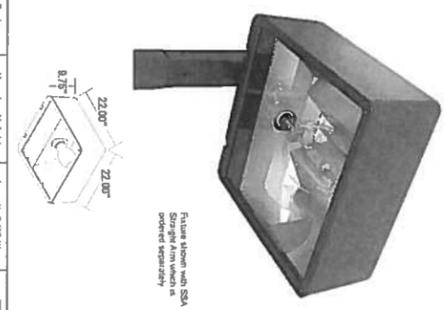
MOUNTING – Standard mounting options include 2", 6" and 10.75" Straight Arms with internal bolt guides for square and round pole mounting on above-roof models. Z' Adjustable Slip Fitter and Yoke Mount available for floodlight models. Additional mounting options are available.

Catalog Number:	DCDLB1 TYPE IV 250 MH	Pole SSP-17-4-11
Product:	DCDLB1M1 TYPE IV 250 MH	ARM SSA-M
		Type

ETL LISTED

Large Die Cast Area Light

DCL SERIES



Series	Housing Height	Length & Width	EMA
DCL	8.75"	22.00" x 22.00"	1.6A

ORDERING INFORMATION

Example: DCLB1AP1-PS-BZ

Series	Reflector	Waist/resource	Voltage	Pulse-Start	Finish
DCLB1	A Standard Flood	M 250W Metal Halide	1 Multi-Tap	PS Pulse-Start	BK Black
	D Cowl Flood	N 400W Metal Halide	2 480V	BZ Bronze	BZ Bronze
	H Narrow Parabolic	Q 750W PS Metal Halide	3 570V	GR US Green	GR US Green
	J Medium Parabolic	V 750W PS Metal Halide		WH White	WH White
	L Type III	P 1000W Metal Halide		SP Special	SP Special
	B Type IV	G 1000W High Pressure Sodium			
	E Type V				

Accessories (Order as separate line items)

5347	1" Aluminum Pole Mount	8110	Large 1" Metal Flange Mount
8110	Aluminum Pole Mount	8111	Large 1.5" Metal Flange Mount
8111	Aluminum Pole Mount	8112	Large 2" Metal Flange Mount
8112	Aluminum Pole Mount	8113	Large 2.5" Metal Flange Mount
8113	Aluminum Pole Mount	8114	Large 3" Metal Flange Mount
8114	Aluminum Pole Mount	8115	Large 3.5" Metal Flange Mount
8115	Aluminum Pole Mount	8116	Large 4" Metal Flange Mount
8116	Aluminum Pole Mount	8117	Large 4.5" Metal Flange Mount
8117	Aluminum Pole Mount	8118	Large 5" Metal Flange Mount
8118	Aluminum Pole Mount	8119	Large 5.5" Metal Flange Mount
8119	Aluminum Pole Mount	8120	Large 6" Metal Flange Mount
8120	Aluminum Pole Mount	8121	Large 6.5" Metal Flange Mount
8121	Aluminum Pole Mount	8122	Large 7" Metal Flange Mount
8122	Aluminum Pole Mount	8123	Large 7.5" Metal Flange Mount
8123	Aluminum Pole Mount	8124	Large 8" Metal Flange Mount
8124	Aluminum Pole Mount	8125	Large 8.5" Metal Flange Mount
8125	Aluminum Pole Mount	8126	Large 9" Metal Flange Mount
8126	Aluminum Pole Mount	8127	Large 9.5" Metal Flange Mount
8127	Aluminum Pole Mount	8128	Large 10" Metal Flange Mount
8128	Aluminum Pole Mount	8129	Large 10.5" Metal Flange Mount
8129	Aluminum Pole Mount	8130	Large 11" Metal Flange Mount
8130	Aluminum Pole Mount	8131	Large 11.5" Metal Flange Mount
8131	Aluminum Pole Mount	8132	Large 12" Metal Flange Mount
8132	Aluminum Pole Mount	8133	Large 12.5" Metal Flange Mount
8133	Aluminum Pole Mount	8134	Large 13" Metal Flange Mount
8134	Aluminum Pole Mount	8135	Large 13.5" Metal Flange Mount
8135	Aluminum Pole Mount	8136	Large 14" Metal Flange Mount
8136	Aluminum Pole Mount	8137	Large 14.5" Metal Flange Mount
8137	Aluminum Pole Mount	8138	Large 15" Metal Flange Mount
8138	Aluminum Pole Mount	8139	Large 15.5" Metal Flange Mount
8139	Aluminum Pole Mount	8140	Large 16" Metal Flange Mount
8140	Aluminum Pole Mount	8141	Large 16.5" Metal Flange Mount
8141	Aluminum Pole Mount	8142	Large 17" Metal Flange Mount
8142	Aluminum Pole Mount	8143	Large 17.5" Metal Flange Mount
8143	Aluminum Pole Mount	8144	Large 18" Metal Flange Mount
8144	Aluminum Pole Mount	8145	Large 18.5" Metal Flange Mount
8145	Aluminum Pole Mount	8146	Large 19" Metal Flange Mount
8146	Aluminum Pole Mount	8147	Large 19.5" Metal Flange Mount
8147	Aluminum Pole Mount	8148	Large 20" Metal Flange Mount
8148	Aluminum Pole Mount	8149	Large 20.5" Metal Flange Mount
8149	Aluminum Pole Mount	8150	Large 21" Metal Flange Mount
8150	Aluminum Pole Mount	8151	Large 21.5" Metal Flange Mount
8151	Aluminum Pole Mount	8152	Large 22" Metal Flange Mount
8152	Aluminum Pole Mount	8153	Large 22.5" Metal Flange Mount
8153	Aluminum Pole Mount	8154	Large 23" Metal Flange Mount
8154	Aluminum Pole Mount	8155	Large 23.5" Metal Flange Mount
8155	Aluminum Pole Mount	8156	Large 24" Metal Flange Mount
8156	Aluminum Pole Mount	8157	Large 24.5" Metal Flange Mount
8157	Aluminum Pole Mount	8158	Large 25" Metal Flange Mount
8158	Aluminum Pole Mount	8159	Large 25.5" Metal Flange Mount
8159	Aluminum Pole Mount	8160	Large 26" Metal Flange Mount
8160	Aluminum Pole Mount	8161	Large 26.5" Metal Flange Mount
8161	Aluminum Pole Mount	8162	Large 27" Metal Flange Mount
8162	Aluminum Pole Mount	8163	Large 27.5" Metal Flange Mount
8163	Aluminum Pole Mount	8164	Large 28" Metal Flange Mount
8164	Aluminum Pole Mount	8165	Large 28.5" Metal Flange Mount
8165	Aluminum Pole Mount	8166	Large 29" Metal Flange Mount
8166	Aluminum Pole Mount	8167	Large 29.5" Metal Flange Mount
8167	Aluminum Pole Mount	8168	Large 30" Metal Flange Mount
8168	Aluminum Pole Mount	8169	Large 30.5" Metal Flange Mount
8169	Aluminum Pole Mount	8170	Large 31" Metal Flange Mount
8170	Aluminum Pole Mount	8171	Large 31.5" Metal Flange Mount
8171	Aluminum Pole Mount	8172	Large 32" Metal Flange Mount
8172	Aluminum Pole Mount	8173	Large 32.5" Metal Flange Mount
8173	Aluminum Pole Mount	8174	Large 33" Metal Flange Mount
8174	Aluminum Pole Mount	8175	Large 33.5" Metal Flange Mount
8175	Aluminum Pole Mount	8176	Large 34" Metal Flange Mount
8176	Aluminum Pole Mount	8177	Large 34.5" Metal Flange Mount
8177	Aluminum Pole Mount	8178	Large 35" Metal Flange Mount
8178	Aluminum Pole Mount	8179	Large 35.5" Metal Flange Mount
8179	Aluminum Pole Mount	8180	Large 36" Metal Flange Mount
8180	Aluminum Pole Mount	8181	Large 36.5" Metal Flange Mount
8181	Aluminum Pole Mount	8182	Large 37" Metal Flange Mount
8182	Aluminum Pole Mount	8183	Large 37.5" Metal Flange Mount
8183	Aluminum Pole Mount	8184	Large 38" Metal Flange Mount
8184	Aluminum Pole Mount	8185	Large 38.5" Metal Flange Mount
8185	Aluminum Pole Mount	8186	Large 39" Metal Flange Mount
8186	Aluminum Pole Mount	8187	Large 39.5" Metal Flange Mount
8187	Aluminum Pole Mount	8188	Large 40" Metal Flange Mount
8188	Aluminum Pole Mount	8189	Large 40.5" Metal Flange Mount
8189	Aluminum Pole Mount	8190	Large 41" Metal Flange Mount
8190	Aluminum Pole Mount	8191	Large 41.5" Metal Flange Mount
8191	Aluminum Pole Mount	8192	Large 42" Metal Flange Mount
8192	Aluminum Pole Mount	8193	Large 42.5" Metal Flange Mount
8193	Aluminum Pole Mount	8194	Large 43" Metal Flange Mount
8194	Aluminum Pole Mount	8195	Large 43.5" Metal Flange Mount
8195	Aluminum Pole Mount	8196	Large 44" Metal Flange Mount
8196	Aluminum Pole Mount	8197	Large 44.5" Metal Flange Mount
8197	Aluminum Pole Mount	8198	Large 45" Metal Flange Mount
8198	Aluminum Pole Mount	8199	Large 45.5" Metal Flange Mount
8199	Aluminum Pole Mount	8200	Large 46" Metal Flange Mount

MATERIAL CALCULATIONS TABLE

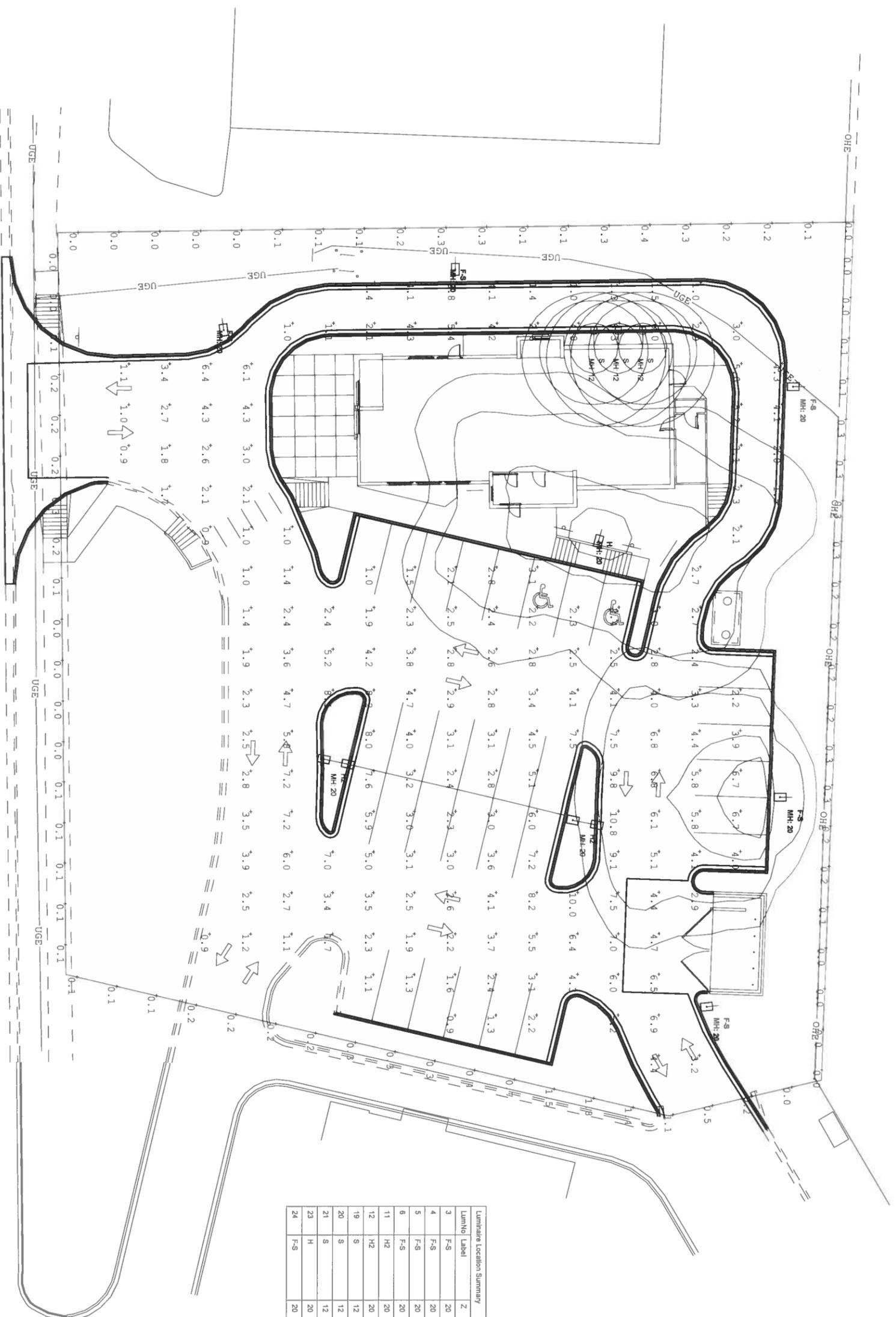
EAST ELEVATION:		WEST ELEVATION:	
BRICK:	601 SF 36%	BRICK:	611 SF 41%
MANUFACTURED STONE:	424 SF 27%	MANUFACTURED STONE:	391 SF 26%
DOORS & WINDOWS:	181 SF 12%	DOORS & WINDOWS:	20 SF 1%
METAL PARAPET CAP:	29 SF 2%	METAL PARAPET CAP:	20 SF 1%
METAL CANOPIES:	30 SF 2%	METAL CANOPIES:	28 SF 2%
CEMENT BOARD:	310 SF 19%	CEMENT BOARD:	370 SF 25%
	1,575 SF 100%		1,505 SF 100%
SOUTH ELEVATION:		NORTH ELEVATION:	
BRICK:	43 SF 7%	BRICK:	602 SF 93%
MANUFACTURED STONE:	270 SF 42%	DOOR:	25 SF 4%
DOORS & WINDOWS:	92 SF 14%	METAL PARAPET CAP:	19 SF 3%
METAL PARAPET CAP:	11 SF 2%		
METAL CANOPIES:	11 SF 2%		
CEMENT BOARD:	215 SF 33%		
	642 SF 100%		

<p>DATE: 10/28/2015</p> <p>DRAWN BY: RM</p> <p>CHECKED BY: RGS</p> <p>REVISIONS:</p>	<p>ARCHITECT/ENGINEER:</p> <p>JAMES M. HAMILL, AIA</p> <p>580 DECKER DRIVE, SUITE 170 IRVING, TX 75062 (972) 714-0420</p>	<p>OWNER:</p> <p>TACO BUENO RESTAURANTS, LP</p> <p>PARK WEST I 1605 LBJ FREEWAY, SUITE 800 FARMERS BRANCH, TX 75234 (972) 919-4827</p>	<p>PROJECT:</p> <p>TACO BUENO</p> <p>STORE # 3216 COLORADO SPRINGS 4 3220 AUSTIN BLUFFS PARKWAY COLORADO SPRINGS, CO.</p>	<p>SHEET NO</p> <p>8 of 9</p>
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FIGURE 1

Luminaire Schedule				
Symbol	Qty	Label	Luminaire/Lamp	Arrangement
[Symbol]	5	F-S	20000	SINGLE
[Symbol]	1	H	20000	SINGLE
[Symbol]	2	H2	20000	D180
[Symbol]	3	S	2780	SINGLE

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING LOT AND DRIVE	Fc	3.74	10.8	0.9	4.16	12.00
PROPERTY LINE	Fc	0.22	1.8	0.0	N.A.	N.A.



Luminaire Location Summary			
LumNo	Label	Z	TR
3	F-S	20	0
4	F-S	20	0
5	F-S	20	0
6	F-S	20	0
11	H2	20	0
12	H2	20	0
19	S	12	0
20	S	12	0
21	S	12	0
23	H	20	0
24	F-S	20	0

PHOTOMETRIC PLAN

CPC CU 15-00097

SHEET NO. 9 of 9						REVISIONS: _____ _____ _____ _____ _____	CHECKED BY: RGS _____ DATE: 10/28/2015 DRAWN BY: PAJ _____	ARCHITECT/ENGINEER: JAMES M. HAMIL, AIA 580 DECKER DRIVE, SUITE 170 IRVING, TX 75062 (972) 714-0420	PRELIMINARY REVIEW ONLY DESIGN: INCORPORATE ALL COMMENTS AND REVISIONS BEFORE OR LATER THAN 10/28/2015 MFC/MS/AM	OWNER: TACO BUENO RESTAURANTS, LP PARK WEST I 1605 LBJ FREEWAY, SUITE 800 FARMERS BRANCH, TX 75234 (972) 919-4827	PROJECT: BUENO TACO BUENO (STORE # 3216 COLORADO SPRINGS 4) 3220 AUSTIN BLUFFS PARKWAY COLORADO SPRINGS, CO.	JOB NO.: 7.011.0915
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FIGURE 1

Austin Meadows Business Center (Lot 2 - Taco Bueno Conditional Use)

PROJECT STATEMENT

DESCRIPTION:

This proposal is to modify the currently approved restaurant use on lot 2 of the Austin Meadows Business Center Development. The lot is currently platted as Lot 2, Front Row Subdivision No. 1. The proposed use is for a Taco Bueno fast food restaurant with drive-in and associated parking/landscaping. The current zoning of the property is OC and thus requires a conditional use permit for the specific fast food plan.

In addition to the conditional use permit request, the applicant is also requesting administrative relief for a 1 space deficit in the parking requirement for the site.

Lot 2 totals 38,768 SF (0.89 acres). This lot will have access to the internal private drive serving Lot 1 and direct access to Austin Bluffs Pkwy. to the south via an existing curb-cut at the southwest corner of the property. Additionally, administrative relief is being requested for the construction of 31 parking stalls where 32 are required based upon both bldg. size and patio use.

The property is bounded to the north by existing residential development, to the west by an existing rental storage facility, to the south by existing Austin Bluffs Blvd, and to the east by Lot 1, Front Row Subdivision No. 1 (Dunkin Donuts).

JUSTIFICATION:

The proposed development is consistent with the adjacent Dunkin Donuts drive-thru restaurant located to North on Lot 1, Front Row Subdivision No. 1.

Administrative relief for the reduction of a single parking stall is necessitated by a lack of site acreage after balancing the landscaping requirements, required lot setbacks, a required storm water quality facility, a proposed trash enclosure and a proposed 600 SF outdoor patio area. It is not believed that the reduction of one parking stall will result in any adverse impact on the surrounding residential and commercial development nor on the operation of the proposed Taco Bueno restaurant. It is believed that any similar use proposed for this lot in the OC zone would encounter a similar parking issue after including the required facilities. The intent of this request is not to recover additional lot acreage for construction of a larger building nor to allow for development that is inconsistent with the zone or surrounding use, but instead to allow for a functional restaurant to be built on an infill lot with multiple constraints.



FIGURE 3

From: John Bolt <John@rockytopresources.com>
Sent: Wednesday, October 07, 2015 1:28 PM
To: Van Nimwegen, Hannah
Subject: FW: 3220 Austin Bluffs Taco Bueno

From: John Bolt
Sent: Wednesday, October 07, 2015 1:12 PM
To: 'hvannimweger@springsgov.com'
Subject: 3220 Austin Bluffs Taco Bueno

Hello Mrs. Van Nimwegen, Thank you for your time today. Taco Bueno traffic in and around Austin Bluffs and Meadowland exit/entrance off of Meadowland, the two exit/entrances for west bound Austin Bluffs with no acceleration ramp and the speed on Austin Bluffs. Other route on to Fireweed Dr and the amount of traffic. Hours of operation and deliveries. Maintenance of the swale. Silt fence plan only one way in one way out. Lighting of their sign on the building hours. Hours of operation. And what ever else you may have noted that I forgot. john@rockytopresources.com Also thank you for taking the time with Austin Bluff Storage lighting. John Bolt

From: John Bolt <John@rockytopresources.com>
Sent: Monday, October 12, 2015 7:13 AM
To: Van Nimwegen, Hannah
Subject: RE: 3220 Austin Bluffs Taco Bueno

Dear Mrs.Nimwegen, One thing I forgot to add to my list for the new Taco Bueno was about the smells from this type of business for a zoning in an office space. John Bolt.

From: Van Nimwegen, Hannah [<mailto:hvannimwegen@springsgov.com>]
Sent: Wednesday, October 07, 2015 3:05 PM
To: John Bolt
Subject: RE: 3220 Austin Bluffs Taco Bueno

Hello John,

I have forwarded your concerns to the applicant for a response. Please let me know if you do not receive one. I also will be reaching out to our Traffic Engineering department regarding some of you specific comments.

Thanks,

Hannah Van Nimwegen | Planner II
(719) 385-5365 | hvannimwegen@springsgov.com

From: John Bolt [<mailto:John@rockytopresources.com>]
Sent: Wednesday, October 07, 2015 1:28 PM
To: Van Nimwegen, Hannah
Subject: FW: 3220 Austin Bluffs Taco Bueno

From: John Bolt
Sent: Wednesday, October 07, 2015 1:12 PM
To: 'hvannimweger@springsgov.com'
Subject: 3220 Austin Bluffs Taco Bueno

Hello Mrs.Van Nimwegen, Thank you for your time today. Taco Bueno traffic in and around Austin Bluffs and Meadowland exit/entrance off of Meadowland, the two exit/entrances for west bound Austin Bluffs with no acceleration ramp and the speed on Austin Bluffs. Other route on to Fireweed Dr and the amount of traffic. Hours of operation and deliveries. Maintenance of the swale. Silt fence plan only one way in one way out. Lighting of their sign on the building hours. Hours of operation. And what ever else you may have noted that I forgot. john@rockytopresources.com Also thank you for taking the time with Austin Bluff Storage lighting. John Bolt

From: Alicia Rhymer <ARhymer@confluentdev.com>
Sent: Wednesday, October 21, 2015 2:02 PM
To: john@rockytopresources.com
Cc: Van Nimwegen, Hannah; Ora Lee Bartolo (obartolo@tacobueno.com); Greg Meeter
Subject: 3220 Austin Bluffs Taco Bueno Development comments

John,

I am the developer working on the proposed Taco Bueno at 3220 Austin Bluffs Parkway. We were provided your comments to our proposed Development Plan and would like to take the time to respond in hopes to alleviate your concerns and gain your support for the development.

Traffic

A traffic analysis has been completed for the overall development, verifying the safety, functionality and benefit of the access points as proposed. The two (2) RI/RO access points along Austin Bluffs will allow Taco Bueno, Dunkin Donut and Diamond Shamrock customers options to enter the site from Austin Bluff and disburse traffic efficiently throughout site during peak hours. These access points will keep the traffic on the major arterial designed to handle it, thus not transferring it to the secondary causing stacking issues, delays and left turn requirements against the southbound Meadowland traveler. The two (2) RO options to Austin Bluffs will also allow the Austin Bluff westbound traveler easy access out of the site while avoiding the light and/or need to access Meadowland. Thus eliminating the need to utilize the Meadowland access unless you are a customer exiting to head east on Austin Bluffs. The Diamond Shamrock, Dunkin Donuts and Taco Bueno cross access drives are long enough to ensure that any back-up/stacking will be accommodated on site. More detailed information can be provided from the study if requested.

Site Lighting

Hours of operation and deliveries [How late is Taco Bueno typically open? When would they receive deliveries?

Lighting of their sign on the building hours [Will the site lighting turn off when the restaurant is closed? Will the building signage shut off?] –

The operating hours are from 6 am to 2 am and deliveries are generally received in the late mornings between breakfast and lunch.

The building signage will be on the south, east and west elevations only and not be provided on the north elevation. The site lighting and signage will be shut off during non-operating hours. The lighting will be strategically located and focused onto our site with full cut-off to provide no wash over the northern property line. In addition, an existing fence and thirteen trees (10 evergreen) are being provided along the northern property line to mitigate any further lighting and sound impacts to the neighborhood. Twelve evergreen trees are being provided on as buffering to the the western property line neighbors.

Maintenance of the swale

The swale will be maintained by Taco Bueno. A Storm water Maintenance Agreement between the City of Colorado Springs and current owner was executed and recorded on July 25th, 2014 setting forth the maintenance requirements.

Silt fence plan only one way in one way out [He is concerned that the construction traffic will cause a conflict with the Dunkin Donuts drive-through exit]

The construction traffic will not cause a conflict with the Dunkin Donuts drive through exit. The contractors will be required to minimize impacts to Dunkin Donuts operation the entire time they are under construction and coordinate ingress of large equipment into site during non-operating and/or approved hours.

Odors emitted from the site

Taco Bueno operation does not emit odors from outside the restaurant.

If you still have concerns or would like to discuss further please don't hesitate to contact me by email or phone at 720-273-9841. I am available to meet with you on site or at one of the existing Taco Bueno restaurants located at 7970 N Academy and 4530 Hilton Pkwy (Garden of Gods) to discuss further. We would also like to extend the offer to mail or deliver coupons to you, so you can experience the great food and atmosphere that Taco Bueno has to offer on us!!

We look forward to hearing from you!

Thanks!

Alicia Rhymer
Sr. Development Director
ARhymer@confluentdev.com
2240 Blake St. Suite 200 | Denver, CO 80205
d (720) 257-6052 | o (303) 573-6500 | c (720) 273-9841
www.ConfluentDev.com



From: John Bolt <John@rockytopresources.com>
Sent: Friday, October 23, 2015 10:01 AM
To: Van Nimwegen, Hannah
Subject: 3220 Austin Bluffs

Good Morning Hannah, I hope you have had time to review an e-mail from Alicia Rhymer on the Taco Bueno.

1 Traffic. East Bound Traffic on Austin Bluffs going North on to Meadowland is where the stacking for east bound customers could be for the three businesses. Meadowland is a single lane north bound and you already get traffic stacking with two businesses, with customers for two business and local traffic. Also has there been a "new" traffic study done since the Dunkin Donuts has been open. The two RO options along Austin Bluffs for the businesses along with south bound traffic from Meadowland wanting to go west on Austin Bluffs is a very short distance, with the speeds on Austin Bluffs. I have tried to find a similar example along Austin Bluffs but it is hard to find with such a short distance. Also I would like to request detailed information on the traffic study.

2. Site Lighting. Hours of operation 6am-2am, I do have a problem with a business operating next to a residential area with these hours. This area with old zoning would be approximately office hours 8 am to 6pm. This increase in hours is doubled by these hours. Traffic and business noise is for 20 hours a day, next to homes with kids and people having to try to sleep and get ready for the next day, 7 days a week. Hannah I do not want to rely on trees to mitigate light and sound due to how well the City of Colorado Springs is so short handed to check up on maintenance and care for the trees.

3. Swale. The swale is not being maintained by the current owner, weed growth and trash are in the swale. And if water is aloud to stand in the swale over the summer, this becomes an area for mosquitoes to breed. So what are the maintenance requirements set forth and recorded? And is it public record? And who will enforce maintenance?

4. Silt fence. That is Alicia's opinion, about construction traffic entering and exiting on Dunkin Donut's exit for the drive threw, have you ever been on a building site, where construction traffic is to share with the public? The public does not stand a chance.

5. Odors. This is a restaurant; do they not have exhaust fans for the kitchen, and what about food waste smells?

I do not know what to do about my concerns, Alicia is working for the company wanting to build, I am asking for your help as a city employee to let me know how to go from here and the best way to do it. Thank you John Bolt

From: Nanna Meyer <nmeyer2@uccs.edu>
Sent: Wednesday, October 07, 2015 12:06 PM
To: Van Nimwegen, Hannah
Cc: Judith Rice-Jones
Subject: Another drive through fast food establishment in Colorado Springs

Dear Ms Van Nimwegen,

I am looking at the public notice that affects my neighborhood in Colorado Springs with the CPC CU 15-00097 plan to approve another drive through fast food restaurant in Colorado Springs and more parking lots (CPU CU 15 00098).

I am a faculty at the University of Colorado, Colorado Springs in Health Sciences and specialize in nutrition, health, and sustainability and work in the area of building a local food system in the city. In recent years, Colorado Springs has been documented as one of the most expansive food deserts in the United States, along with many other cities in the West. A food desert is defined as an area where food is non-existent, not healthy or too expensive. It is an issue of access and can be defined by distance and/or transportation being obstacles in obtaining adequate amounts of healthy foods. (University of Leeds/School of Geography). Fast food restaurants do not add to a city's health and wellness strategies, of which we have several now in place, namely the most recent HEAL (Healthy Eating and Active Living) Initiative. I am also aware of the most recently established Food Policy Advisory Board to the City. Many of us are working hard to develop a healthy food environment. I get highly discouraged when I see yet another fast food restaurant placed along Austin Bluffs, where the city could have a very different vision, including a train that could have been built (instead of a widening to allow more cars and faster speeds along what used to be a dirt road where sheep passed and now is the place where young people get educated). The food and built environment determines the health of its people. With some of the highest obesity rates in the state of Colorado, El Paso County and the City of Colorado Springs, should move into a re-visioned direction to help people make healthy choices and provide better access to good nutrition and walkability in the city while working. Could the city have a strategy to focus more closely on its food system? Could the city recognize that we do not need more fast food outlets...as they promote current food swamps (thought of as environments with an abundance of junk food access), obesity, more diabetes, and greater health care costs. I wish Austin Bluffs Parkway could be an example of careful city planning process as it also passes an institution of higher education with 10,000 young people who have lost connection to healthy lifestyles and need our inspiration, well built surroundings with public transportation, and a supportive local business environment, including access to healthy food (even on a run – for which there are good examples). The built environment determines access to health promoting environments. We need more healthy food access and more ways to incorporate physical activity into our daily lives. We do not need more drive throughs and wider roads. This type of obesogenic environment is killing us. We need trains where people can take 2500 steps about 4 times per day and leave their cars at home, and on their way to work, can stop at a healthy food outlet with delicious fresh and locally grown choices. They will be healthier, happier, more productive, and better leaders for the next generation.

As I am looking back at these plans, I feel I am back in the 1970ies and wonder if I am the only one thinking this way.

Thanks for your consideration to rethink plans for fast food, drive through outlets along what was once known as Templeton gap, cruising along historic Cragmor village, which used to be a Sanatorium for rehabilitation under the beautiful Colorado sun.

Sincerely,
Nanna Meyer, PhD, RD
Associate Professor UCCS
Health Sciences Department
University of Colorado, Colorado Springs

Resident of Greencrest at Palmer Park

From: Van Nimwegen, Hannah
Sent: Wednesday, October 07, 2015 3:31 PM
To: Nanna Meyer
Subject: RE: Another drive through fast food establishment in Colorado Springs

Hello Nanna,

Thank you for your input. I have forwarded your comments to the applicant for a response. Your concerns seem to address the city as a whole, versus this specific site. I would encourage you to attend future workshops regarding the City of Colorado Springs' Comprehensive Plan update, as that may be a better avenue to address the issue city-wide. The Comprehensive Plan update is newly funded (2016 & 2017 fiscal years), so the process has not started yet but I would keep an eye open in the coming year. I'm sure they would appreciate input as well presented as this. I also would encourage you contact Jill Gaebler, one of our City Council members, who has voiced an interest in urban farming and city-wide sustainability.

Thanks again and I hope you are having a good week,

Hannah Van Nimwegen | Planner II
(719) 385-5365 | hvannimwegen@springsgov.com

-----Original Message-----

From: Nanna Meyer [<mailto:nmeyer2@uccs.edu>]
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To: Van Nimwegen, Hannah
Cc: Judith Rice-Jones
Subject: Another drive through fast food establishment in Colorado Springs

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Sincerely,
Nanna Meyer, PhD, RD
Associate Professor UCCS
Health Sciences Department
University of Colorado, Colorado Springs

Resident of Greencrest at Palmer Park

APPENDIX

DEVELOPMENT APPLICATION REVIEW CRITERIA

7.5.502 (E): DEVELOPMENT PLAN REVIEW CRITERIA:

- E. Development Plan Review Criteria: A development plan shall be reviewed using the criteria listed below. No development plan shall be approved unless the plan complies with all the requirements of the zone district in which it is located, is consistent with the intent and purpose of this Zoning Code and is compatible with the land uses surrounding the site. Alternate and/or additional development plan criteria may be included as a part of an FBZ regulating plan.
1. Will the project design be harmonious with the surrounding land uses and neighborhood?
 2. Will the proposed land uses be compatible with the surrounding neighborhood? Will the proposed development overburden the capacities of existing streets, utilities, parks, schools and other public facilities?
 3. Will the structures be located to minimize the impact of their use and bulk on adjacent properties?
 4. Will landscaping, berms, fences and/or walls be provided to buffer the site from undesirable views, noise, lighting or other off site negative influences and to buffer adjacent properties from negative influences that may be created by the proposed development?
 5. Will vehicular access from the project to streets outside the project be combined, limited, located, designed and controlled to channel traffic to and from such areas conveniently and safely and in such a manner which minimizes traffic friction, noise and pollution and promotes free traffic flow without excessive interruption?
 6. Will all the streets and drives provide logical, safe and convenient vehicular access to the facilities within the project?
 7. Will streets and drives within the project area be connected to streets outside the project area in such a way that discourages their use by through traffic?
 8. Will adequately sized parking areas be located throughout the project to provide safe and convenient access to specific facilities?
 9. Will safe and convenient provision for the access and movement of handicapped persons and parking of vehicles for the handicapped be accommodated in the project design?
 10. Will the design of streets, drives and parking areas within the project result in a minimum of area devoted to asphalt?
 11. Will pedestrian walkways be functionally separated from vehicular traffic and landscaped to accomplish this? Will pedestrian walkways be designed and located in combination with other easements that are not used by motor vehicles?
 12. Does the design encourage the preservation of significant natural features such as healthy vegetation, drainage channels, steep slopes and rock outcroppings? Are these significant natural features incorporated into the project design? (Ord. 94-107; Ord. 95-125; Ord. 01-42; Ord. 02-64; Ord. 03-74; Ord. 03-157; Ord. 09-50; Ord. 09-78)

CONDITIONAL USE REVIEW CRITERIA:

7.5.704: AUTHORIZATION AND FINDINGS:

The Planning Commission may approve and/or modify a conditional use application in whole or in part, with or without conditions, only if all three (3) of the following findings are made:

- A. Surrounding Neighborhood: That the value and qualities of the neighborhood surrounding the conditional use are not substantially injured.
- B. Intent Of Zoning Code: That the conditional use is consistent with the intent and purpose of this Zoning Code to promote public health, safety and general welfare.
- C. Comprehensive Plan: That the conditional use is consistent with the Comprehensive Plan of the City.

The approved conditional use and development plan shall be binding on the property until an amendment is approved changing the use of the property. Except as otherwise recommended by the Planning Commission, the development of a conditional use shall conform to the applicable regulations of the district in which it is to be located. (Ord. 80-131; Ord. 82-247; Ord. 91-30; Ord.94-107; Ord. 01-42)

ADMINISTRATIVE RELIEF REQUEST REVIEW CRITERIA:

7.5.1102: FINDINGS NECESSARY TO GRANT ADMINISTRATIVE RELIEF:

To grant administrative relief, all of the following criteria must be met:

- A. The strict application of the regulation in question is unreasonable given the development proposal or the measures proposed by the applicant or that the property has extraordinary or exceptional physical conditions that do not generally exist in nearby properties in the same zoning district and such conditions will not allow a reasonable use of the property in its current zone in the absence of relief.
- B. The intent of this Zoning Code and the specific regulation in question is preserved.
- C. The granting of the administrative relief will not result in an adverse impact on surrounding properties.
- D. The granting of the administrative relief will not allow an increase in the number of dwelling units on a parcel. Administrative relief shall not be used to create or modify lots to the extent that they no longer meet the minimum lot size for the zone district in which they are located. (Ord. 86-39; Ord. 91-30; Ord. 94-107; Ord. 01-42; Ord. 03-16)