



CONSTRUCTION AND
PERMANENT CONTROL
MEASURE
INDEPENDENT
INSPECTION AND
ASSESSMENT REPORT

City of Colorado Springs, Colorado

October 23, 2024





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1 Introduction

HDR was contracted by the Stormwater Enterprise of City of Colorado Springs (City) in September 2021 to perform independent third-party audits for the City's approvals of Grading and Erosion Control (GEC) Plans, City Stormwater Management Plan (CSWMP) Reports, constructed Permanent Control Measures (PCM), and Credited Measures (CM).

This report covers Year 3 audit of the above files that were approved in the 2023 calendar year.

The City provided HDR a numbered list of each of the City's approved plans, reports, and control measures. HDR randomly selected 10% of each type of project for GEC and CSWMP, and 10% of CMs approved in 2023, and 10% of PCMs constructed 2023.

These selections matched by percent the area within the City (Capital Project, Central, North, and South), and type of facility (Commercial, Industrial, Mixed Use/Other, Single Family Residential, Public Project). The City's tracking code was provided in the first round of selections, so HDR team didn't know which project was being selected. One facility that HDR worked on this year was selected and was not audited by HDR.

The City then delivered copies of approved plans, reports, and control measures to HDR's team for this audit.

2 Grading and Erosion Control (GEC) Audit

2.1 Plan Review Summary

Fourteen (14) GEC were independently reviewed by HDR utilizing GEC review audit checklist provided in the Workplan. From HDR's independent third-party review of these plans, no plans were found to be non-compliant. In the random GEC selection that HDR prepared this year, one of HDR's approved plans was selected to audit. This plan was reviewed by Jacobs. This plan was also found to be compliant.

The full list of reviewed plans is found in Appendix A. The list of plans review is in Appendix A1, the checklists are in Appendix A2, and the plan review performed by Jacobs can be found in Appendix A3.

Table 2.1 is the GEC checklist items that are missing from the plans. The missing items are all tier 2, so all plans are compliant.

Table 2-1: GEC Plan Items

Number	Title	Missing Checklist Item
G-30	Cheyenne Blvd between Evans Ave and Cresta Rd	Tier 2 – missing the FEMA floodplain for Cheyenne Creek that is within the project limits.
G-36	SWC Carefree Circle and Pony Tracks Drive	Tier 2 - Utility easements shown, but utility lines are not on plans.

Table 2-1: GEC Plan Items

Number	Title	Missing Checklist Item
G-104	Revel III at Wolf Ranch	Tier 2 – The Grading and Erosion Control plans are at a scale of 1" = 60', which is above the 1" = 50' maximum.

3 City Stormwater Management Plan (CSWMP) Audit

3.1 Report Review Summary

Thirteen (13) CSWMP were independently reviewed by HDR utilizing the CSWMP review audit checklist. No plans were found to be non-compliant. All checklist items were found in all 13 reports.

The full list of reviewed CSWMP plans is found in Appendix B1, and the checklists are in Appendix B2.

4 Permanent Control Measure (PCM) Audit

4.1 PCM Review Summary

Seven (7) PCMs were independently reviewed by HDR utilizing the PCM review audit checklist from the Workplan. The PCMs selected consisted of one bioretention basin, three extended detention basins, 2 sand filters, and one underground flow-through based on similar percentages of measures constructed within the City in 2023.

From the audit, one (1) constructed PCM was found to be out of compliance. Table 4.1 below is a summary of the ponds with identified issues.

HDR created a location map of the six PCM audit locations within the City. Refer to Appendix C1 for the location of PCM in-field audits, and PCM Review Forms can be found in Appendix C2.

Table 4-1: PCM Document Review Notes Summary

Number	Title	Issues
PCM-44	Sand Filter; Staybridge Suites Fil 1	Field Maintenance Issue: PVC Cleanout is broken and needs repair. The maintenance plan is compliant as its been less than 1-year since the reported underdrain cleanout.
PCM-62	Underground Flow-Through Device; Lot 1, Sam's Properties Filing No. 1	Document Review: Drainage Report has no information about the Underground Device. Missing IM Plan, and water quality calculations.

5 Credited Measure (CM) Audit

5.1 CM Review Summary

Thirteen (13) CM were independently reviewed by HDR utilizing CM review audit checklist from the Workplan. The CMs selected consisted of five (5) category 2 (Existing Measures Subject to City's Process for Verification of a Functioning PCM Built Prior to 7/31/2018) and eight (8) category 6 (New Development or Redevelopment Infiltration – Development). Category 2 audits consisted of document review and field review. Category 6 audits consisted of document review only. All category 2 CM were found to be compliant. All category 6 CM were also found to be compliant. Refer to Appendix D1 for the location of CM audits and CM Report Summaries can be found in Appendix D2.

6 Correspondence

The following list of correspondence with City during HDR's audit review:

- January 26, 2024 – City shared list of accepted PCMs in 2023
- January 31 and February 1, 2024 – Communication between HDR and City about review schedule
- February 1, 2024 – HDR provided randomized selection for audit of PCM
- February 15, 2024 – City shared list of 2023 approved GEC and CSWMP codes for selection
- February 19, 2024 – HDR provided randomized selection for GEC and CSWMP
- February 26, 2024 – HDR sent City reminder about GEC and CSWMP selection.
- February 28, 2024 – Communication between City and HDR providing PCM selection list and files
- February 29, 2024 – City provided GEC and CSWMPs. HDR noted that GEC plan G-2 was an HDR project.
- March 1 and 21, 2024 – Communication from HDR providing KMZ of PCM locations and clarifying the location of PCM-44
- April 15, 2024 – HDR provided progress report to City.
- April 16, 2024 – City provided list of CMs for selection
- April 16 -18,2024 – Communication between City and HDR with clarification about PCM-44 location
- April 17, 2024 – HDR provided randomized selection of CMs
- April 17, 2024 – City provided documentation for category 6 CMs
- April 23, 2024 – City provided documentation for category 2 CMs

- May 15, 2024 – Progress report provided from HDR to city. City confirmed report was received.
- June 26, 2024 – Communication between HDR and City clarifying locations of CM-22 and CM-23
- June 28, 2024 – City delivered the audit report for the HDR selected plan

During the audit, two progress reports on the status of the audits were provided to the City in April and May 2024.

Additional documentation or copies of the emails listed above can be provided by request.

7 Summary of Audit Findings

From the randomly selected projects for third party review, HDR found no compliance issues with GEC, CSWMP, and CM. One PCM project was found to be non-compliant, which was below the threshold of non-compliance set in the EPA Consent Decree.

8 References

City of Colorado Springs; Stormwater Enterprise
2020 Stormwater Construction Manual

City of Colorado Springs; Stormwater Enterprise
2021 Audit Work Plan

Appendix A1: GEC Plan Selection

Table A-1: Selected GEC Plans reviewed

GEC Number	Plan Title	District	Project Type
G-2	Circle Drive Bridges (HDR Project, reviewed by Jacobs)	Capital Project	Public Project
G-13	El Paso Blvd Bridge Replacement	Capital Project	Public Project
G-30	Cheyenne Blvd between Evans Ave and Cresta Rd	Capital Project	Public Project
G-36	SWC Carefree Circle and Pony Tracks Drive	Central	Commercial
G-46	D.E.C. Subdivision Filing No. 2, Lot 3	Central	Commercial
G-54	Lot 1, The Sands Industrial Park Filing No. 1	Central	Industrial
G-59	Patriot Park Subdivision Filing No. 1	Central	Mixed Use / Other
G-69	Summit Peak View Behavioral Health Addition	North	Commercial
G-79	Old Ranch Station Fil. No. 4	North	Commercial
G-97	Wolf Ranch Detention Basin F18 and F19	North	Mixed Use / Other
G-104	Revel III at Wolf Ranch	North	Single Family Residential
G-116	Lot 3, Westgate at Powers, Filing No. 1	South	Commercial
G-122	Lot 2 of East Fountain Subdivision Filing No. 1	South	Commercial
G-137	COSA Filing 1E Integration Loop and Peak Innovation Pkwy	South	Mixed Use / Other
G-144	Centennial North Subdivision	South	Single Family Residential

Appendix A2: GEC Checklists

2.3.2 GEC Review Audit Determination of Noncompliance

If the audited document is in general conformance with the SCM, no Tier 1 checklist items are missing, and no more than two of the Tier 2 checklist items are missing, the audit is passed.

2.3.3 GEC Plan Checklist

The GEC Plan shall include the following as a minimum. Clarification details are provided below each checklist item as necessary. Some items may not apply to a specific project; in that case, the checklist items are not required.

Tier	Checklist Item
2	1. General vicinity map – Show the relationship of the site to existing and planned roadways, jurisdictional boundaries, major creeks, and streams.
1	2. Subdivision / Project name – The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. <ul style="list-style-type: none"> Auditors will not be cross-checking the Final Subdivision Plat.
1	3. Standard GEC Plan notes – See SCM Appendix C.
2	4. Cost estimate of the Construction Control Measures including seeding and all installation and maintenance until final stabilization is achieved. A minimum of 40% of the total cost shall be added to the cost estimate for maintenance. A unit price list may be obtained from the Stormwater Enterprise. Cost estimates are not required for capital projects. N/A <ul style="list-style-type: none"> Auditors will not check unit prices except for large errors Names do not need to match exactly, as long as it's clear what the item is



1	5. Signature blocks – See SCM Appendix D. Contractor signature is not required prior to GEC Plan approval. Signatures are shown on page 1 CSU/City PM and SWENT Manager are the two required for capital projects <ul style="list-style-type: none"> Signatures blocks are reviewed for general conformance. Only signature blocks required by the SCM need to be included (for example, contractor signature is not needed on GEC Plan, even if the block is included).
2	6. North arrow and bar scale
2	7. Plan view – at a scale of 1-inch to 20-feet up to 1-inch to 50-feet. 1" = 20
1	8. Property lines for the site on which the work will be performed. <ul style="list-style-type: none"> Property boundary, property line, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
1	9. Areas of land disturbance – total area of the site where any construction activity is expected to result in land disturbance of the ground surface. <ul style="list-style-type: none"> Limits of disturbance, areas of land disturbance, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
2	10. Construction site boundaries – delineation of construction site boundaries. <ul style="list-style-type: none"> Limits of construction, construction site boundary, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
1	11. Existing topography at one or two foot contour intervals. The map should extend a minimum of 10-feet beyond the property line for private development projects or beyond the project's land disturbance limits, whichever is larger.



	<ul style="list-style-type: none"> The existing topography must extend at least to the project's disturbance limits. Extending beyond disturbance areas is optional.
1	<p>12. Proposed topography at one or two foot contour intervals. The map should show elevations and extent and the slope of all proposed grading.</p> <ul style="list-style-type: none"> Elevations and slope labels are optional. Proposed topography must extend to the disturbance limits, unless disturbed areas will remain at existing grade.
2	<p>13. Location of any proposed features and structures on the site, including paved areas, retaining walls (including top and bottom of wall elevations), etc.</p> <ul style="list-style-type: none"> Retaining wall elevations (top and bottom of wall) should be called out at least once per wall.
1	<p>14. Adjacent existing and proposed development affected by the construction. Labels must include ownership information and address or tax schedule numbers.</p> <ul style="list-style-type: none"> Adjacent areas not affected by construction can be labeled as not being affected.
1	<p>15. Location of soil stockpiles – Areas designated for topsoil and subsoil storage must be shown on the plan, or a note must be included indicating that stockpile location will be determined by the contractor. Stockpile locations to be determined by contractor must not result in additional land disturbance.</p>
2	<p>16. Location of no-build areas if indicated in a geologic hazard study.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. <p>N/A</p>
1	<p>17. Location of existing or proposed water courses – to include, but not limited to, groundwater springs, streams, wetlands, or other surface waters, including areas where the COR400000 requires that pre-existing vegetation be maintained within 50 feet of a receiving water.</p>



	<ul style="list-style-type: none"> Ditches and small unnamed tributaries do not need to be labeled, if there is a question as to whether a water course is named or not, the naming is determined based on the SpringsView basemap layer.
1	<p>18. Location of existing or proposed drainage features on and adjacent to the site.</p> <ul style="list-style-type: none"> Drainage features include storm conveyance infrastructure larger than 12" (inlets, pipes, manholes, outfalls).
1	<p>19. Location of Construction Control Measures and Permanent Control Measures to be constructed as a part of the proposed work. Construction Control Measures must be indicated using clear symbology and labels including abbreviations that match the Construction Control Measure detail sheets.</p> <ul style="list-style-type: none"> CCM abbreviations must match the CCM detail sheets, or be abbreviated in a clear manner if using an alternative control measure without an abbreviation on the detail sheet. CCM abbreviations should be shown in the legend. IP alone is sufficient – abbreviations on plan do not need to specify IP-2 (etc.). PCMs should be labeled with the type of PCM (EDB, sand filter, etc.). Details do not need to be included in the GEC Plan, as they are part of the PCM Plan.
1	<p>20. Location of concrete washout areas – Areas designated for concrete washout must be shown on the plan, or a note must be included indicating that concrete washout location will be determined by the contractor.</p> <ul style="list-style-type: none"> Concrete washouts must be shown at least 50' away from State Waters. Plans do not need to specify lined vs. unlined – that will be determined in the field.
1	<p>21. Location of staging areas – Staging area must be shown on the plan, or a note must be included indicating that staging area location will be determined by the contractor.</p>



1	<p>22. Vegetation – existing vegetation to remain and proposed seeding areas. A note referencing the Landscaping Plan must be included on the GEC Plan if proposed vegetation will not be shown.</p> <ul style="list-style-type: none"> The Landscaping Plan does not need to be specifically named, as long as the reference is present.
1	<p>23. Location of any asphalt, concrete batch plants, and masonry mix stations, if applicable.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. <p>N/A</p>
2	<p>24. Boundaries of the 100-yr floodplain, if applicable.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. <p>N/A</p>
2	<p>25. Boundaries of the City Streamside Overlay, if applicable. Overlays do not need to be shown for capital projects.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. <p>N/A</p>
2	<p>26. Boundaries of the City Hillside Overlay, if applicable. Overlays do not need to be shown for capital projects.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. If a site is completely in the Hillside Overlay, a note stating that is sufficient. <p>N/A</p>
2	<p>27. Existing utility locations and easements - grading over existing utilities or within dedicated easements is restricted. Contact Colorado Springs Utilities or easement owner for additional information.</p> <ul style="list-style-type: none"> If utilities are shown, reviewer is not responsible for checking individual utility line placement. If standard utility line types are used, utility line types are not required to be shown in legend. Utility easements should be labeled.

2	<p>28. Locations of preservation easements, if applicable.</p> <ul style="list-style-type: none"> A note is not needed if not applicable.
1	<p>29. Detail drawings of Construction Control Measures including installation and maintenance requirements. Details must match those provided in SCM Appendix E, or be approved through the alternative Construction Control Measure approval process.</p> <ul style="list-style-type: none"> Additional CCM details can be included in the GEC Plan, but are not required. SCM details, additional COS details on the website, MHFD details, and approved alternative details on the City's website are all acceptable If a detail is not included, a reference to the details on the City's website is required
1	<p>30. Anticipated starting and completion time period of land disturbance.</p> <ul style="list-style-type: none"> Time periods can specify month – specific date is not required Starting and completion time periods can be included on the same line
1	<p>31. Expected date on which the final stabilization will be completed.</p> <ul style="list-style-type: none"> Can be combined with completion time period if both will occur at the same time.
1	<p>32. Receiving Waters – Name of closest named receiving waters.</p>
1	<p>33. Flow arrows that depict stormwater flow directions. Arrows do not need to be located within the limits of the proposed grading if visibility is compromised by their inclusion.</p> <ul style="list-style-type: none"> Arrows should generally depict the direction of runoff – individual arrows can be slightly off if the majority of arrows are pointing in the correct direction.

1	<p>34. Locations of all non-structural Control Measures. Nonstructural controls (like street sweeping) without a specific location may be described using notes.</p> <ul style="list-style-type: none"> This item is passed if at least one nonstructural control measure is identified.
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STANDARD GEC PLAN NOTES

The nineteen (19) plan notes below shall be included on the GEC Plan.

- No clearing, grading, excavation, or other land disturbing activities shall be allowed (except for work directly related to the installation of Initial Control Measures) until a City GEC Permit has been issued.
- All land disturbing activities must be performed in accordance with and the approved GEC Plan and CSWMP.
- Initial Control Measures shall be installed and inspected prior to any land disturbance activities taking place. An initial site inspection will not be scheduled until a City GEC Permit has been "conditionally approved." Call City Stormwater Inspections, 385-5980, at least 48 hours prior to construction to schedule an initial inspection and obtain full permit approval.
- Individuals shall comply with the "Colorado Water Quality Control Act" (Title 25, Article 8, CRS) and the "Clean Water Act" (33 USC 1344), including regulations promulgated and certifications or permits issued, in addition to the requirements included in the City's MS4 Permit, Stormwater Construction Manual. In the event of conflicts between these requirements and water quality control laws, rules, or regulations of other Federal or State agencies, the more restrictive laws, rules, or regulations shall apply.
- Stormwater discharges from construction sites shall not cause or threaten to cause pollution, contamination, or degradation of State Waters.
- All Construction Control Measures shall be maintained until permanent stabilization measures are implemented. Temporary Construction Control Measures must be removed prior to permit closeout.
- Concrete wash water shall not be discharged to or allowed to runoff to State Waters or any surface or subsurface storm drainage system or facilities.
- Building, construction, excavation, or other waste materials shall not be temporarily placed or stored in the street, alley, or other public way, unless in accordance with an approved Traffic Control Plan. Construction Control Measures may be required by the GEC Inspector if deemed necessary based on specific conditions and circumstances (e.g., estimated time of exposure, season of the year, etc.).
- All wastes composed of building materials must be removed from the construction site for disposal in accordance with local and state regulatory requirements. No building material wastes or unused building materials shall be buried, dumped, or discharged at the site.



10. The permittee shall be responsible for the removal of all construction debris, dirt, trash, rock, sediment, and sand that may accumulate in the storm sewer or other drainage conveyance system as a result of construction activities.
11. The quantity of materials stored on the project site shall be limited, as much as practical, to that quantity required to perform the work in an orderly sequence. All materials stored on-site shall be stored in a neat, orderly manner, in their original containers, with original manufacturer's labels. Materials shall not be stored in a location where they may be carried by stormwater runoff into the storm sewer system at any time.
12. Spill prevention and containment measures shall be used at all storage, equipment fueling, and equipment servicing areas so as to contain all spills and prevent any spilled material from entering the MS4, including any surface or subsurface storm drainage system or facility. Bulk storage structures for petroleum products and other chemicals shall have secondary containment or equivalent adequate protection. All spills shall be cleaned up immediately after discovery, or contained until appropriate cleanup methods can be employed. Manufacturer's recommended methods for spill cleanup shall be followed, along with proper disposal methods.
13. Sediment (mud and dirt) transported onto a public road, regardless of the size of the site, shall be cleaned as soon as possible after discovery.
14. No chemicals are to be added to the discharge unless permission for the use of a specific chemical is granted by the State. In granting the use of such chemicals, special conditions and monitoring may be required.
15. Control Measures for all slopes, channels, ditches, or any disturbed land area shall be completed within fourteen (14) calendar days after final grading or final land disturbance has been completed. Disturbed areas which are not at final grade but will remain dormant for longer than fourteen (14) days shall be roughened, mulched, tackified, or stabilized with tarps within fourteen (14) days after interim grading. An area that is going to remain in an interim state for more than sixty (60) days shall also be seeded, unless an alternative stabilization measure is accepted at the inspector's discretion. All temporary Construction Control Measures shall be maintained until final stabilization is achieved.
16. The GEC Plan will be subject to re-review and re-acceptance by the Stormwater Enterprise should any of the following occur: grading does not commence within twelve (12) months of the City's acceptance of the plan, the construction site is idle for twelve (12) consecutive months, a change in property ownership occurs, the planned development changes, or any other major modifications are proposed as defined in the Stormwater Construction Manual.



17. It is not permissible for any person to modify the grade of the earth on any utility easement or utility right-of-way without written approval from the utility owner. City acceptance of the GEC Plan and CSWMP does not satisfy this requirement. The plan shall not increase or divert water towards utility facilities. Any changes to existing utility facilities to accommodate the plan must be approved by the affected utility owner prior to implementing the plan. The cost to relocate or protect existing utilities or to provide interim access shall be at the applicant's expense.
 18. Applicant represents and warrants that they have the legal authority to grade and/or construct improvements on adjacent property. The City has not reviewed the developer's authority to modify adjacent property. An approved GEC Permit does not provide approval for the Applicant to perform work on adjacent property.
- Additional notes may be required by the review engineer. For example, the following note is required for all development projects, but is normally not required for capital projects:
- "All utility installations within the limits of disturbance shown on this plan are covered under this plan. Locations of utilities within the limits of disturbance may be modified after plan approval as a field change. Utility installations related to the private development that extend beyond the limits of disturbance shown on this plan are considered to be part of the larger development, and therefore require a plan modification or separate plan for the additional disturbance area."



2.3.2 GEC Review Audit Determination of Noncompliance

If the audited document is in general conformance with the SCM, no Tier 1 checklist items are missing, and no more than two of the Tier 2 checklist items are missing, the audit is passed.

2.3.3 GEC Plan Checklist

The GEC Plan shall include the following as a minimum. Clarification details are provided below each checklist item as necessary. Some items may not apply to a specific project; in that case, the checklist items are not required.

Tier	Checklist Item
2	1. General vicinity map – Show the relationship of the site to existing and planned roadways, jurisdictional boundaries, major creeks, and streams.
1	2. Subdivision / Project name – The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. <ul style="list-style-type: none"> Auditors will not be cross-checking the Final Subdivision Plat.
1	3. Standard GEC Plan notes – See SCM Appendix C.
2	4. Cost estimate of the Construction Control Measures including seeding and all installation and maintenance until final stabilization is achieved. A minimum of 40% of the total cost shall be added to the cost estimate for maintenance. A unit price list may be obtained from the Stormwater Enterprise. Cost estimates are not required for capital projects. N/A <ul style="list-style-type: none"> Auditors will not check unit prices except for large errors Names do not need to match exactly, as long as it's clear what the item is



1	5. Signature blocks – See SCM Appendix D. Contractor signature is not required prior to GEC Plan approval. CSU/City PM and SWENT Manager are the two required for capital projects <ul style="list-style-type: none"> Signatures blocks are reviewed for general conformance. Only signature blocks required by the SCM need to be included (for example, contractor signature is not needed on GEC Plan, even if the block is included).
2	6. North arrow and bar scale
2	7. Plan view – at a scale of 1-inch to 20-feet up to 1-inch to 50-feet. 1" = 40'
1	8. Property lines for the site on which the work will be performed. <ul style="list-style-type: none"> Property boundary, property line, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
1	9. Areas of land disturbance – total area of the site where any construction activity is expected to result in land disturbance of the ground surface. <ul style="list-style-type: none"> Limits of disturbance, areas of land disturbance, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
2	10. Construction site boundaries – delineation of construction site boundaries. <ul style="list-style-type: none"> Limits of construction, construction site boundary, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
1	11. Existing topography at one or two foot contour intervals. The map should extend a minimum of 10-feet beyond the property line for private development projects or beyond the project's land disturbance limits, whichever is larger.



	<ul style="list-style-type: none"> The existing topography must extend at least to the project's disturbance limits. Extending beyond disturbance areas is optional.
1	<p>12. Proposed topography at one or two foot contour intervals. The map should show elevations and extent and the slope of all proposed grading.</p> <ul style="list-style-type: none"> Elevations and slope labels are optional. Proposed topography must extend to the disturbance limits, unless disturbed areas will remain at existing grade.
2	<p>13. Location of any proposed features and structures on the site, including paved areas, retaining walls (including top and bottom of wall elevations), etc.</p> <ul style="list-style-type: none"> Retaining wall elevations (top and bottom of wall) should be called out at least once per wall.
1	<p>14. Adjacent existing and proposed development affected by the construction. Labels must include ownership information and address or tax schedule numbers.</p> <ul style="list-style-type: none"> Adjacent areas not affected by construction can be labeled as not being affected.
1	<p>15. Location of soil stockpiles – Areas designated for topsoil and subsoil storage must be shown on the plan, or a note must be included indicating that stockpile location will be determined by the contractor. Stockpile locations to be determined by contractor must not result in additional land disturbance.</p>
2	<p>16. Location of no-build areas if indicated in a geologic hazard study.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. <p>N/A</p>
1	<p>17. Location of existing or proposed water courses – to include, but not limited to, groundwater springs, streams, wetlands, or other surface waters, including areas where the COR400000 requires that pre-existing vegetation be maintained within 50 feet of a receiving water.</p>



	<ul style="list-style-type: none"> Ditches and small unnamed tributaries do not need to be labeled. If there is a question as to whether a water course is named or not, the naming is determined based on the SpringsView basemap layer.
1	<p>18. Location of existing or proposed drainage features on and adjacent to the site.</p> <ul style="list-style-type: none"> Drainage features include storm conveyance infrastructure larger than 12" (inlets, pipes, manholes, outfalls).
1	<p>19. Location of Construction Control Measures and Permanent Control Measures to be constructed as a part of the proposed work. Construction Control Measures must be indicated using clear symbology and labels including abbreviations that match the Construction Control Measure detail sheets.</p> <ul style="list-style-type: none"> CCM abbreviations must match the CCM detail sheets, or be abbreviated in a clear manner if using an alternative control measure without an abbreviation on the detail sheet. CCM abbreviations should be shown in the legend. IP alone is sufficient – abbreviations on plan do not need to specify IP-2 (etc.). PCMs should be labeled with the type of PCM (EDB, sand filter, etc.). Details do not need to be included in the GEC Plan, as they are part of the PCM Plan.
1	<p>20. Location of concrete washout areas – Areas designated for concrete washout must be shown on the plan, or a note must be included indicating that concrete washout location will be determined by the contractor.</p> <ul style="list-style-type: none"> Concrete washouts must be shown at least 50' away from State Waters. Plans do not need to specify lined vs. unlined – that will be determined in the field.
1	<p>21. Location of staging areas – Staging area must be shown on the plan, or a note must be included indicating that staging area location will be determined by the contractor.</p>



1	<p>22. Vegetation – existing vegetation to remain and proposed seeding areas. A note referencing the Landscaping Plan must be included on the GEC Plan if proposed vegetation will not be shown.</p> <ul style="list-style-type: none"> The Landscaping Plan does not need to be specifically named, as long as the reference is present.
1	<p>23. Location of any asphalt, concrete batch plants, and masonry mix stations, if applicable.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. <p>N/A</p>
2	<p>24. Boundaries of the 100-yr floodplain, if applicable.</p> <p>Missing boundaries for Cheyenne Creek. Should at least be shown in first two plan sheets in initial and final</p> <ul style="list-style-type: none"> A note is not needed if not applicable.
2	<p>25. Boundaries of the City Streamside Overlay, if applicable. Overlays do not need to be shown for capital projects.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. <p>N/A</p>
2	<p>26. Boundaries of the City Hillside Overlay, if applicable. Overlays do not need to be shown for capital projects.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. If a site is completely in the Hillside Overlay, a note stating that is sufficient. <p>N/A</p>
2	<p>27. Existing utility locations and easements - grading over existing utilities or within dedicated easements is restricted. Contact Colorado Springs Utilities or easement owner for additional information.</p> <ul style="list-style-type: none"> If utilities are shown, reviewer is not responsible for checking individual utility line placement. If standard utility line types are used, utility line types are not required to be shown in legend. Utility easements should be labeled.



2	<p>28. Locations of preservation easements, if applicable.</p> <ul style="list-style-type: none"> A note is not needed if not applicable.
1	<p>29. Detail drawings of Construction Control Measures including installation and maintenance requirements. Details must match those provided in SCM Appendix E, or be approved through the alternative Construction Control Measure approval process.</p> <ul style="list-style-type: none"> Additional CCM details can be included in the GEC Plan, but are not required. SCM details, additional COS details on the website, MHFD details, and approved alternative details on the City's website are all acceptable If a detail is not included, a reference to the details on the City's website is required
1	<p>30. Anticipated starting and completion time period of land disturbance.</p> <ul style="list-style-type: none"> Time periods can specify month – specific date is not required Starting and completion time periods can be included on the same line
1	<p>31. Expected date on which the final stabilization will be completed.</p> <ul style="list-style-type: none"> Can be combined with completion time period if both will occur at the same time.
1	<p>32. Receiving Waters – Name of closest named receiving waters.</p>
1	<p>33. Flow arrows that depict stormwater flow directions. Arrows do not need to be located within the limits of the proposed grading if visibility is compromised by their inclusion.</p> <ul style="list-style-type: none"> Arrows should generally depict the direction of runoff – individual arrows can be slightly off if the majority of arrows are pointing in the correct direction.



1	<p>34. Locations of all non-structural Control Measures. Nonstructural controls (like street sweeping) without a specific location may be described using notes.</p> <ul style="list-style-type: none">This item is passed if at least one nonstructural control measure is identified.
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2.3.2 GEC Review Audit Determination of Noncompliance

If the audited document is in general conformance with the SCM, no Tier 1 checklist items are missing, and no more than two of the Tier 2 checklist items are missing, the audit is passed.

2.3.3 GEC Plan Checklist

The GEC Plan shall include the following as a minimum. Clarification details are provided below each checklist item as necessary. Some items may not apply to a specific project; in that case, the checklist items are not required.

Tier	Checklist Item
2	1. General vicinity map – Show the relationship of the site to existing and planned roadways, jurisdictional boundaries, major creeks, and streams.
1	2. Subdivision / Project name – The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. <ul style="list-style-type: none"> Auditors will not be cross-checking the Final Subdivision Plat.
1	3. Standard GEC Plan notes – See SCM Appendix C.
2	4. Cost estimate of the Construction Control Measures including seeding and all installation and maintenance until final stabilization is achieved. A minimum of 40% of the total cost shall be added to the cost estimate for maintenance. A unit price list may be obtained from the Stormwater Enterprise. Cost estimates are not required for capital projects. <ul style="list-style-type: none"> Auditors will not check unit prices except for large errors Names do not need to match exactly, as long as it's clear what the item is



1	5. Signature blocks – See SCM Appendix D. Contractor signature is not required prior to GEC Plan approval. Engineer, Owner, and SWENT Manager are the three required for private development <ul style="list-style-type: none"> Signatures blocks are reviewed for general conformance. Only signature blocks required by the SCM need to be included (for example, contractor signature is not needed on GEC Plan, even if the block is included).
2	6. North arrow and bar scale
2	7. Plan view – at a scale of 1-inch to 20-feet up to 1-inch to 50-feet. 1" = 20
1	8. Property lines for the site on which the work will be performed. <ul style="list-style-type: none"> Property boundary, property line, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
1	9. Areas of land disturbance – total area of the site where any construction activity is expected to result in land disturbance of the ground surface. <ul style="list-style-type: none"> Limits of disturbance, areas of land disturbance, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
2	10. Construction site boundaries – delineation of construction site boundaries. <ul style="list-style-type: none"> Limits of construction, construction site boundary, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
1	11. Existing topography at one or two foot contour intervals. The map should extend a minimum of 10-feet beyond the property line for private development projects or beyond the project's land disturbance limits, whichever is larger.



	<ul style="list-style-type: none"> The existing topography must extend at least to the project's disturbance limits. Extending beyond disturbance areas is optional.
1	<p>12. Proposed topography at one or two foot contour intervals. The map should show elevations and extent and the slope of all proposed grading.</p> <ul style="list-style-type: none"> Elevations and slope labels are optional. Proposed topography must extend to the disturbance limits, unless disturbed areas will remain at existing grade.
2	<p>13. Location of any proposed features and structures on the site, including paved areas, retaining walls (including top and bottom of wall elevations), etc.</p> <ul style="list-style-type: none"> Retaining wall elevations (top and bottom of wall) should be called out at least once per wall.
1	<p>14. Adjacent existing and proposed development affected by the construction. Labels must include ownership information and address or tax schedule numbers.</p> <ul style="list-style-type: none"> Adjacent areas not affected by construction can be labeled as not being affected.
1	<p>15. Location of soil stockpiles – Areas designated for topsoil and subsoil storage must be shown on the plan, or a note must be included indicating that stockpile location will be determined by the contractor. Stockpile locations to be determined by contractor must not result in additional land disturbance.</p>
2	<p>16. Location of no-build areas if indicated in a geologic hazard study.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. <p>N/A</p>
1	<p>17. Location of existing or proposed water courses – to include, but not limited to, groundwater springs, streams, wetlands, or other surface waters, including areas where the COR400000 requires that pre-existing vegetation be maintained within 50 feet of a receiving water.</p>



	<ul style="list-style-type: none"> Ditches and small unnamed tributaries do not need to be labeled, if there is a question as to whether a water course is named or not, the naming is determined based on the SpringsView basemap layer.
1	<p>18. Location of existing or proposed drainage features on and adjacent to the site.</p> <ul style="list-style-type: none"> Drainage features include storm conveyance infrastructure larger than 12" (inlets, pipes, manholes, outfalls).
1	<p>19. Location of Construction Control Measures and Permanent Control Measures to be constructed as a part of the proposed work. Construction Control Measures must be indicated using clear symbology and labels including abbreviations that match the Construction Control Measure detail sheets.</p> <ul style="list-style-type: none"> CCM abbreviations must match the CCM detail sheets, or be abbreviated in a clear manner if using an alternative control measure without an abbreviation on the detail sheet. CCM abbreviations should be shown in the legend. IP alone is sufficient – abbreviations on plan do not need to specify IP-2 (etc.). PCMs should be labeled with the type of PCM (EDB, sand filter, etc.). Details do not need to be included in the GEC Plan, as they are part of the PCM Plan.
1	<p>20. Location of concrete washout areas – Areas designated for concrete washout must be shown on the plan, or a note must be included indicating that concrete washout location will be determined by the contractor.</p> <ul style="list-style-type: none"> Concrete washouts must be shown at least 50' away from State Waters. Plans do not need to specify lined vs. unlined – that will be determined in the field.
1	<p>21. Location of staging areas – Staging area must be shown on the plan, or a note must be included indicating that staging area location will be determined by the contractor.</p>



1	<p>22. Vegetation – existing vegetation to remain and proposed seeding areas. A note referencing the Landscaping Plan must be included on the GEC Plan if proposed vegetation will not be shown.</p> <ul style="list-style-type: none"> The Landscaping Plan does not need to be specifically named, as long as the reference is present.
1	<p>23. Location of any asphalt, concrete batch plants, and masonry mix stations, if applicable.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. <p>N/A</p>
2	<p>24. Boundaries of the 100-yr floodplain, if applicable.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. <p>N/A</p>
2	<p>25. Boundaries of the City Streamside Overlay, if applicable. Overlays do not need to be shown for capital projects.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. <p>N/A</p>
2	<p>26. Boundaries of the City Hillside Overlay, if applicable. Overlays do not need to be shown for capital projects.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. If a site is completely in the Hillside Overlay, a note stating that is sufficient. <p>N/A</p>
2	<p>27. Existing utility locations and easements - grading over existing utilities or within dedicated easements is restricted. Contact Colorado Springs Utilities or easement owner for additional information.</p> <ul style="list-style-type: none"> If utilities are shown, reviewer is not responsible for checking individual utility line placement. If standard utility line types are used, utility line types are not required to be shown in legend. Utility easements should be labeled.

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1	<p>29. Detail drawings of Construction Control Measures including installation and maintenance requirements. Details must match those provided in SCM Appendix E, or be approved through the alternative Construction Control Measure approval process.</p> <ul style="list-style-type: none"> Additional CCM details can be included in the GEC Plan, but are not required. SCM details, additional COS details on the website, MHFD details, and approved alternative details on the City's website are all acceptable If a detail is not included, a reference to the details on the City's website is required
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1	<p>31. Expected date on which the final stabilization will be completed.</p> <ul style="list-style-type: none"> Can be combined with completion time period if both will occur at the same time. <p>Quarters used instead of months</p>
1	<p>32. Receiving Waters – Name of closest named receiving waters.</p>
1	<p>33. Flow arrows that depict stormwater flow directions. Arrows do not need to be located within the limits of the proposed grading if visibility is compromised by their inclusion.</p> <ul style="list-style-type: none"> Arrows should generally depict the direction of runoff – individual arrows can be slightly off if the majority of arrows are pointing in the correct direction.

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2.3.2 GEC Review Audit Determination of Noncompliance

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2	6. North arrow and bar scale
2	7. Plan view – at a scale of 1-inch to 20-feet up to 1-inch to 50-feet. 1" = 30'
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2	10. Construction site boundaries – delineation of construction site boundaries. <ul style="list-style-type: none"> Limits of construction, construction site boundary, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
1	11. Existing topography at one or two foot contour intervals. The map should extend a minimum of 10-feet beyond the property line for private development projects or beyond the project's land disturbance limits, whichever is larger.



	<ul style="list-style-type: none"> The existing topography must extend at least to the project's disturbance limits. Extending beyond disturbance areas is optional.
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2	<p>16. Location of no-build areas if indicated in a geologic hazard study.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. <p>N/A</p>
1	<p>17. Location of existing or proposed water courses – to include, but not limited to, groundwater springs, streams, wetlands, or other surface waters, including areas where the COR400000 requires that pre-existing vegetation be maintained within 50 feet of a receiving water.</p>



	<ul style="list-style-type: none"> Ditches and small unnamed tributaries do not need to be labeled. If there is a question as to whether a water course is named or not, the naming is determined based on the SpringsView basemap layer.
1	<p>18. Location of existing or proposed drainage features on and adjacent to the site.</p> <ul style="list-style-type: none"> Drainage features include storm conveyance infrastructure larger than 12" (inlets, pipes, manholes, outfalls).
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2	<p>26. Boundaries of the City Hillside Overlay, if applicable. Overlays do not need to be shown for capital projects.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. If a site is completely in the Hillside Overlay, a note stating that is sufficient. <p>N/A</p>
2	<p>27. Existing utility locations and easements - grading over existing utilities or within dedicated easements is restricted. Contact Colorado Springs Utilities or easement owner for additional information.</p> <ul style="list-style-type: none"> If utilities are shown, reviewer is not responsible for checking individual utility line placement. If standard utility line types are used, utility line types are not required to be shown in legend. Utility easements should be labeled.

2	<p>28. Locations of preservation easements, if applicable.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. <p>N/A</p>
1	<p>29. Detail drawings of Construction Control Measures including installation and maintenance requirements. Details must match those provided in SCM Appendix E, or be approved through the alternative Construction Control Measure approval process.</p> <ul style="list-style-type: none"> Additional CCM details can be included in the GEC Plan, but are not required. SCM details, additional COS details on the website, MHFD details, and approved alternative details on the City's website are all acceptable If a detail is not included, a reference to the details on the City's website is required
1	<p>30. Anticipated starting and completion time period of land disturbance.</p> <ul style="list-style-type: none"> Time periods can specify month – specific date is not required Starting and completion time periods can be included on the same line
1	<p>31. Expected date on which the final stabilization will be completed.</p> <ul style="list-style-type: none"> Can be combined with completion time period if both will occur at the same time. <p>"Quarters" used instead of months</p>
1	<p>32. Receiving Waters – Name of closest named receiving waters.</p>
1	<p>33. Flow arrows that depict stormwater flow directions. Arrows do not need to be located within the limits of the proposed grading if visibility is compromised by their inclusion.</p> <ul style="list-style-type: none"> Arrows should generally depict the direction of runoff – individual arrows can be slightly off if the majority of arrows are pointing in the correct direction.

1	<p>34. Locations of all non-structural Control Measures. Nonstructural controls (like street sweeping) without a specific location may be described using notes.</p> <ul style="list-style-type: none">This item is passed if at least one nonstructural control measure is identified.
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2.3.2 GEC Review Audit Determination of Noncompliance

If the audited document is in general conformance with the SCM, no Tier 1 checklist items are missing, and no more than two of the Tier 2 checklist items are missing, the audit is passed.

2.3.3 GEC Plan Checklist

The GEC Plan shall include the following as a minimum. Clarification details are provided below each checklist item as necessary. Some items may not apply to a specific project; in that case, the checklist items are not required.

Tier	Checklist Item
2	1. General vicinity map – Show the relationship of the site to existing and planned roadways, jurisdictional boundaries, major creeks, and streams.
1	2. Subdivision / Project name – The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. <ul style="list-style-type: none"> Auditors will not be cross-checking the Final Subdivision Plat.
1	3. Standard GEC Plan notes – See SCM Appendix C.
2	4. Cost estimate of the Construction Control Measures including seeding and all installation and maintenance until final stabilization is achieved. A minimum of 40% of the total cost shall be added to the cost estimate for maintenance. A unit price list may be obtained from the Stormwater Enterprise. Cost estimates are not required for capital projects. <ul style="list-style-type: none"> Auditors will not check unit prices except for large errors Names do not need to match exactly, as long as it's clear what the item is



1	5. Signature blocks – See SCM Appendix D. Contractor signature is not required prior to GEC Plan approval. Engineer, Owner, and SWENT Manager are the three required for private development <ul style="list-style-type: none"> Signatures blocks are reviewed for general conformance. Only signature blocks required by the SCM need to be included (for example, contractor signature is not needed on GEC Plan, even if the block is included).
2	6. North arrow and bar scale
2	7. Plan view – at a scale of 1-inch to 20-feet up to 1-inch to 50-feet. 1" = 30'
1	8. Property lines for the site on which the work will be performed. <ul style="list-style-type: none"> Property boundary, property line, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
1	9. Areas of land disturbance – total area of the site where any construction activity is expected to result in land disturbance of the ground surface. <ul style="list-style-type: none"> Limits of disturbance, areas of land disturbance, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
2	10. Construction site boundaries – delineation of construction site boundaries. <ul style="list-style-type: none"> Limits of construction, construction site boundary, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
1	11. Existing topography at one or two foot contour intervals. The map should extend a minimum of 10-feet beyond the property line for private development projects or beyond the project's land disturbance limits, whichever is larger.



	<ul style="list-style-type: none"> The existing topography must extend at least to the project's disturbance limits. Extending beyond disturbance areas is optional.
1	<p>12. Proposed topography at one or two foot contour intervals. The map should show elevations and extent and the slope of all proposed grading.</p> <ul style="list-style-type: none"> Elevations and slope labels are optional. Proposed topography must extend to the disturbance limits, unless disturbed areas will remain at existing grade.
2	<p>13. Location of any proposed features and structures on the site, including paved areas, retaining walls (including top and bottom of wall elevations), etc.</p> <ul style="list-style-type: none"> Retaining wall elevations (top and bottom of wall) should be called out at least once per wall.
1	<p>14. Adjacent existing and proposed development affected by the construction. Labels must include ownership information and address or tax schedule numbers.</p> <ul style="list-style-type: none"> Adjacent areas not affected by construction can be labeled as not being affected.
1	<p>15. Location of soil stockpiles – Areas designated for topsoil and subsoil storage must be shown on the plan, or a note must be included indicating that stockpile location will be determined by the contractor. Stockpile locations to be determined by contractor must not result in additional land disturbance.</p>
2	<p>16. Location of no-build areas if indicated in a geologic hazard study.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. <p>N/A</p>
1	<p>17. Location of existing or proposed water courses – to include, but not limited to, groundwater springs, streams, wetlands, or other surface waters, including areas where the COR400000 requires that pre-existing vegetation be maintained within 50 feet of a receiving water.</p>



	<ul style="list-style-type: none"> Ditches and small unnamed tributaries do not need to be labeled. If there is a question as to whether a water course is named or not, the naming is determined based on the SpringsView basemap layer.
1	<p>18. Location of existing or proposed drainage features on and adjacent to the site.</p> <ul style="list-style-type: none"> Drainage features include storm conveyance infrastructure larger than 12" (inlets, pipes, manholes, outfalls).
1	<p>19. Location of Construction Control Measures and Permanent Control Measures to be constructed as a part of the proposed work. Construction Control Measures must be indicated using clear symbology and labels including abbreviations that match the Construction Control Measure detail sheets.</p> <ul style="list-style-type: none"> CCM abbreviations must match the CCM detail sheets, or be abbreviated in a clear manner if using an alternative control measure without an abbreviation on the detail sheet. CCM abbreviations should be shown in the legend. IP alone is sufficient – abbreviations on plan do not need to specify IP-2 (etc.). PCMs should be labeled with the type of PCM (EDB, sand filter, etc.). Details do not need to be included in the GEC Plan, as they are part of the PCM Plan.
1	<p>20. Location of concrete washout areas – Areas designated for concrete washout must be shown on the plan, or a note must be included indicating that concrete washout location will be determined by the contractor.</p> <ul style="list-style-type: none"> Concrete washouts must be shown at least 50' away from State Waters. Plans do not need to specify lined vs. unlined – that will be determined in the field.
1	<p>21. Location of staging areas – Staging area must be shown on the plan, or a note must be included indicating that staging area location will be determined by the contractor.</p>



1	<p>22. Vegetation – existing vegetation to remain and proposed seeding areas. A note referencing the Landscaping Plan must be included on the GEC Plan if proposed vegetation will not be shown.</p> <ul style="list-style-type: none"> The Landscaping Plan does not need to be specifically named, as long as the reference is present.
1	<p>23. Location of any asphalt, concrete batch plants, and masonry mix stations, if applicable.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. <p>N/A</p>
2	<p>24. Boundaries of the 100-yr floodplain, if applicable.</p> <ul style="list-style-type: none"> A note is not needed if not applicable.
2	<p>25. Boundaries of the City Streamside Overlay, if applicable. Overlays do not need to be shown for capital projects.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. <p>N/A</p>
2	<p>26. Boundaries of the City Hillside Overlay, if applicable. Overlays do not need to be shown for capital projects.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. If a site is completely in the Hillside Overlay, a note stating that is sufficient. <p>N/A</p>
2	<p>27. Existing utility locations and easements - grading over existing utilities or within dedicated easements is restricted. Contact Colorado Springs Utilities or easement owner for additional information.</p> <ul style="list-style-type: none"> If utilities are shown, reviewer is not responsible for checking individual utility line placement. If standard utility line types are used, utility line types are not required to be shown in legend. Utility easements should be labeled.



2	<p>28. Locations of preservation easements, if applicable.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. <p>N/A</p>
1	<p>29. Detail drawings of Construction Control Measures including installation and maintenance requirements. Details must match those provided in SCM Appendix E, or be approved through the alternative Construction Control Measure approval process.</p> <ul style="list-style-type: none"> Additional CCM details can be included in the GEC Plan, but are not required. SCM details, additional COS details on the website, MHFD details, and approved alternative details on the City's website are all acceptable If a detail is not included, a reference to the details on the City's website is required
1	<p>30. Anticipated starting and completion time period of land disturbance.</p> <ul style="list-style-type: none"> Time periods can specify month – specific date is not required Starting and completion time periods can be included on the same line
1	<p>31. Expected date on which the final stabilization will be completed.</p> <ul style="list-style-type: none"> Can be combined with completion time period if both will occur at the same time. <p>"Summer and 'Fall' used instead of months</p>
1	<p>32. Receiving Waters – Name of closest named receiving waters.</p>
1	<p>33. Flow arrows that depict stormwater flow directions. Arrows do not need to be located within the limits of the proposed grading if visibility is compromised by their inclusion.</p> <ul style="list-style-type: none"> Arrows should generally depict the direction of runoff – individual arrows can be slightly off if the majority of arrows are pointing in the correct direction.



1	<p>34. Locations of all non-structural Control Measures. Nonstructural controls (like street sweeping) without a specific location may be described using notes.</p> <ul style="list-style-type: none">This item is passed if at least one nonstructural control measure is identified.
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2.3.3 GEC Plan Checklist

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1	2. Subdivision / Project name – The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. <ul style="list-style-type: none"> Auditors will not be cross-checking the Final Subdivision Plat.
1	3. Standard GEC Plan notes – See SCM Appendix C.
2	4. Cost estimate of the Construction Control Measures including seeding and all installation and maintenance until final stabilization is achieved. A minimum of 40% of the total cost shall be added to the cost estimate for maintenance. A unit price list may be obtained from the Stormwater Enterprise. Cost estimates are not required for capital projects. <ul style="list-style-type: none"> Auditors will not check unit prices except for large errors Names do not need to match exactly, as long as it's clear what the item is



1	5. Signature blocks – See SCM Appendix D. Contractor signature is not required prior to GEC Plan approval. Engineer, Owner, and SWENT Manager are the three required for private development <ul style="list-style-type: none"> Signatures blocks are reviewed for general conformance. Only signature blocks required by the SCM need to be included (for example, contractor signature is not needed on GEC Plan, even if the block is included).
2	6. North arrow and bar scale
2	7. Plan view – at a scale of 1-inch to 20-feet up to 1-inch to 50-feet. 1" = 40'
1	8. Property lines for the site on which the work will be performed. <ul style="list-style-type: none"> Property boundary, property line, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
1	9. Areas of land disturbance – total area of the site where any construction activity is expected to result in land disturbance of the ground surface. <ul style="list-style-type: none"> Limits of disturbance, areas of land disturbance, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
2	10. Construction site boundaries – delineation of construction site boundaries. <ul style="list-style-type: none"> Limits of construction, construction site boundary, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
1	11. Existing topography at one or two foot contour intervals. The map should extend a minimum of 10-feet beyond the property line for private development projects or beyond the project's land disturbance limits, whichever is larger.



	<ul style="list-style-type: none"> The existing topography must extend at least to the project's disturbance limits. Extending beyond disturbance areas is optional.
1	<p>12. Proposed topography at one or two foot contour intervals. The map should show elevations and extent and the slope of all proposed grading.</p> <ul style="list-style-type: none"> Elevations and slope labels are optional. Proposed topography must extend to the disturbance limits, unless disturbed areas will remain at existing grade.
2	<p>13. Location of any proposed features and structures on the site, including paved areas, retaining walls (including top and bottom of wall elevations), etc.</p> <ul style="list-style-type: none"> Retaining wall elevations (top and bottom of wall) should be called out at least once per wall.
1	<p>14. Adjacent existing and proposed development affected by the construction. Labels must include ownership information and address or tax schedule numbers.</p> <ul style="list-style-type: none"> Adjacent areas not affected by construction can be labeled as not being affected.
1	<p>15. Location of soil stockpiles – Areas designated for topsoil and subsoil storage must be shown on the plan, or a note must be included indicating that stockpile location will be determined by the contractor. Stockpile locations to be determined by contractor must not result in additional land disturbance.</p>
2	<p>16. Location of no-build areas if indicated in a geologic hazard study.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. <p>N/A</p>
1	<p>17. Location of existing or proposed water courses – to include, but not limited to, groundwater springs, streams, wetlands, or other surface waters, including areas where the COR400000 requires that pre-existing vegetation be maintained within 50 feet of a receiving water.</p>



	<ul style="list-style-type: none"> Ditches and small unnamed tributaries do not need to be labeled. If there is a question as to whether a water course is named or not, the naming is determined based on the SpringsView basemap layer.
1	<p>18. Location of existing or proposed drainage features on and adjacent to the site.</p> <ul style="list-style-type: none"> Drainage features include storm conveyer (inlets, pipes, manholes, outfalls). Drainage features are shown and not labeled. This is enough to satisfy the requirement for drainage features.
1	<p>19. Location of Construction Control Measures and Permanent Control Measures to be constructed as a part of the proposed work. Construction Control Measures must be indicated using clear symbology and labels including abbreviations that match the Construction Control Measure detail sheets.</p> <ul style="list-style-type: none"> CCM abbreviations must match the CCM detail sheets, or be abbreviated in a clear manner if using an alternative control measure without an abbreviation on the detail sheet. CCM abbreviations should be shown in the legend. IP alone is sufficient – abbreviations on plan do not need to specify IP-2 (etc.). PCMs should be labeled with the type of PCM (EDB, sand filter, etc.). Details do not need to be included in the GEC Plan, as they are part of the PCM Plan.
1	<p>20. Location of concrete washout areas – Areas designated for concrete washout must be shown on the plan, or a note must be included indicating that concrete washout location will be determined by the contractor.</p> <ul style="list-style-type: none"> Concrete washouts must be shown at least 50' away from State Waters. Plans do not need to specify lined vs. unlined – that will be determined in the field.
1	<p>21. Location of staging areas – Staging area must be shown on the plan, or a note must be included indicating that staging area location will be determined by the contractor.</p>



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1	<p>23. Location of any asphalt, concrete batch plants, and masonry mix stations, if applicable.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. <p>N/A</p>
2	<p>24. Boundaries of the 100-yr floodplain, if applicable.</p> <ul style="list-style-type: none"> A note is not needed if not applicable.
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2	<p>26. Boundaries of the City Hillside Overlay, if applicable. Overlays do not need to be shown for capital projects.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. If a site is completely in the Hillside Overlay, a note stating that is sufficient. <p>N/A</p>
2	<p>27. Existing utility locations and easements - grading over existing utilities or within dedicated easements is restricted. Contact Colorado Springs Utilities or easement owner for additional information.</p> <ul style="list-style-type: none"> If utilities are shown, reviewer is not responsible for checking individual utility line placement. If standard utility line types are used, utility line types are not required to be shown in legend. Utility easements should be labeled.



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1	<p>17. Location of existing or proposed water courses – to include, but not limited to, groundwater springs, streams, wetlands, or other surface waters, including areas where the COR400000 requires that pre-existing vegetation be maintained within 50 feet of a receiving water.</p>



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1	<p>21. Location of staging areas – Staging area must be shown on the plan, or a note must be included indicating that staging area location will be determined by the contractor.</p>



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1	<p>23. Location of any asphalt, concrete batch plants, and masonry mix stations, if applicable.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. N/A
2	<p>24. Boundaries of the 100-yr floodplain, if applicable. The northern portion is stated to be in a floodplain, but the boundary is not shown in plan view Upon further investigation, map panel listed is incorrect and the site is not within a floodplain.</p> <ul style="list-style-type: none"> A note is not needed if not applicable.
2	<p>25. Boundaries of the City Streamside Overlay, if applicable. Overlays do not need to be shown for capital projects.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. N/A
2	<p>26. Boundaries of the City Hillside Overlay, if applicable. Overlays do not need to be shown for capital projects.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. N/A If a site is completely in the Hillside Overlay, a note stating that is sufficient.
2	<p>27. Existing utility locations and easements - grading over existing utilities or within dedicated easements is restricted. Contact Colorado Springs Utilities or easement owner for additional information.</p> <ul style="list-style-type: none"> If utilities are shown, reviewer is not responsible for checking individual utility line placement. If standard utility line types are used, utility line types are not required to be shown in legend. Utility easements should be labeled.

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1	<p>31. Expected date on which the final stabilization will be completed.</p> <ul style="list-style-type: none"> Can be combined with completion time period if both will occur at the same time. Combined with completion
1	<p>32. Receiving Waters – Name of closest named receiving waters.</p>
1	<p>33. Flow arrows that depict stormwater flow directions. Arrows do not need to be located within the limits of the proposed grading if visibility is compromised by their inclusion.</p> <ul style="list-style-type: none"> Arrows should generally depict the direction of runoff – individual arrows can be slightly off if the majority of arrows are pointing in the correct direction.

1	<p>34. Locations of all non-structural Control Measures. Nonstructural controls (like street sweeping) without a specific location may be described using notes.</p> <ul style="list-style-type: none">This item is passed if at least one nonstructural control measure is identified.
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2.3.3 GEC Plan Checklist

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1	3. Standard GEC Plan notes – See SCM Appendix C.
2	4. Cost estimate of the Construction Control Measures including seeding and all installation and maintenance until final stabilization is achieved. A minimum of 40% of the total cost shall be added to the cost estimate for maintenance. A unit price list may be obtained from the Stormwater Enterprise. Cost estimates are not required for capital projects. <ul style="list-style-type: none"> Auditors will not check unit prices except for large errors Names do not need to match exactly, as long as it's clear what the item is



1	5. Signature blocks – See SCM Appendix D. Contractor signature is not required prior to GEC Plan approval. <ul style="list-style-type: none"> Signatures blocks are reviewed for general conformance. Only signature blocks required by the SCM need to be included (for example, contractor signature is not needed on GEC Plan, even if the block is included).
2	6. North arrow and bar scale
2	7. Plan view – at a scale of 1-inch to 20-feet up to 1-inch to 50-feet.
1	8. Property lines for the site on which the work will be performed. <ul style="list-style-type: none"> Property boundary, property line, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
1	9. Areas of land disturbance – total area of the site where any construction activity is expected to result in land disturbance of the ground surface. <ul style="list-style-type: none"> Limits of disturbance, areas of land disturbance, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
2	10. Construction site boundaries – delineation of construction site boundaries. <ul style="list-style-type: none"> Limits of construction, construction site boundary, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
1	11. Existing topography at one or two foot contour intervals. The map should extend a minimum of 10-feet beyond the property line for private development projects or beyond the project's land disturbance limits, whichever is larger.



	<ul style="list-style-type: none"> The existing topography must extend at least to the project's disturbance limits. Extending beyond disturbance areas is optional.
1	<p>12. Proposed topography at one or two foot contour intervals. The map should show elevations and extent and the slope of all proposed grading.</p> <ul style="list-style-type: none"> Elevations and slope labels are optional. Proposed topography must extend to the disturbance limits, unless disturbed areas will remain at existing grade.
2	<p>13. Location of any proposed features and structures on the site, including paved areas, retaining walls (including top and bottom of wall elevations), etc.</p> <ul style="list-style-type: none"> Retaining wall elevations (top and bottom of wall) should be called out at least once per wall.
1	<p>14. Adjacent existing and proposed development affected by the construction. Labels must include ownership information and address or tax schedule numbers.</p> <ul style="list-style-type: none"> Adjacent areas not affected by construction can be labeled as not being affected.
1	<p>15. Location of soil stockpiles – Areas designated for topsoil and subsoil storage must be shown on the plan, or a note must be included indicating that stockpile location will be determined by the contractor. Stockpile locations to be determined by contractor must not result in additional land disturbance.</p>
2	<p>16. Location of no-build areas if indicated in a geologic hazard study.</p> <ul style="list-style-type: none"> A note is not needed if not applicable.
1	<p>17. Location of existing or proposed water courses – to include, but not limited to, groundwater springs, streams, wetlands, or other surface waters, including areas where the COR400000 requires that pre-existing vegetation be maintained within 50 feet of a receiving water. Looks like Cottonwood Creek runs adjacent to this project or through. Cannot tell. Plans appear to not identify this named waterway.</p> <p>Upon further review the Creek appears to no longer extend North of Briargate Parkway, and is correctly shown on the site map.</p>



	<ul style="list-style-type: none"> Ditches and small unnamed tributaries do not need to be labeled. If there is a question as to whether a water course is named or not, the naming is determined based on the SpringsView basemap layer.
1	<p>18. Location of existing or proposed drainage features on and adjacent to the site.</p> <ul style="list-style-type: none"> Drainage features include storm conveyance infrastructure larger than 12" (inlets, pipes, manholes, outfalls).
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1	23. Location of any asphalt, concrete batch plants, and masonry mix stations , if applicable. <ul style="list-style-type: none"> A note is not needed if not applicable.
2	24. Boundaries of the 100-yr floodplain , if applicable. <ul style="list-style-type: none"> A note is not needed if not applicable.
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1	3. Standard GEC Plan notes – See SCM Appendix C.
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1	5. Signature blocks – See SCM Appendix D. Contractor signature is not required prior to GEC Plan approval. Engineer, Owner, and SWENT Manager are the three required for private development <ul style="list-style-type: none"> Signatures blocks are reviewed for general conformance. Only signature blocks required by the SCM need to be included (for example, contractor signature is not needed on GEC Plan, even if the block is included).
2	6. North arrow and bar scale
2	7. Plan view – at a scale of 1-inch to 20-feet up to 1-inch to 50-feet. 1" = 40'
1	8. Property lines for the site on which the work will be performed. <ul style="list-style-type: none"> Property boundary, property line, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
1	9. Areas of land disturbance – total area of the site where any construction activity is expected to result in land disturbance of the ground surface. <ul style="list-style-type: none"> Limits of disturbance, areas of land disturbance, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
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1	11. Existing topography at one or two foot contour intervals. The map should extend a minimum of 10-feet beyond the property line for private development projects or beyond the project's land disturbance limits, whichever is larger.



	<ul style="list-style-type: none"> The existing topography must extend at least to the project's disturbance limits. Extending beyond disturbance areas is optional.
1	<p>12. Proposed topography at one or two foot contour intervals. The map should show elevations and extent and the slope of all proposed grading.</p> <ul style="list-style-type: none"> Elevations and slope labels are optional. Proposed topography must extend to the disturbance limits, unless disturbed areas will remain at existing grade.
2	<p>13. Location of any proposed features and structures on the site, including paved areas, retaining walls (including top and bottom of wall elevations), etc.</p> <ul style="list-style-type: none"> Retaining wall elevations (top and bottom of wall) should be called out at least once per wall.
1	<p>14. Adjacent existing and proposed development affected by the construction. Labels must include ownership information and address or tax schedule numbers.</p> <ul style="list-style-type: none"> Adjacent areas not affected by construction can be labeled as not being affected.
1	<p>15. Location of soil stockpiles – Areas designated for topsoil and subsoil storage must be shown on the plan, or a note must be included indicating that stockpile location will be determined by the contractor. Stockpile locations to be determined by contractor must not result in additional land disturbance.</p>
2	<p>16. Location of no-build areas if indicated in a geologic hazard study.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. <p>N/A</p>
1	<p>17. Location of existing or proposed water courses – to include, but not limited to, groundwater springs, streams, wetlands, or other surface waters, including areas where the COR400000 requires that pre-existing vegetation be maintained within 50 feet of a receiving water.</p>



	<ul style="list-style-type: none"> Ditches and small unnamed tributaries do not need to be labeled, if there is a question as to whether a water course is named or not, the naming is determined based on the SpringsView basemap layer.
1	<p>18. Location of existing or proposed drainage features on and adjacent to the site.</p> <ul style="list-style-type: none"> Drainage features include storm conveyance infrastructure larger than 12" (inlets, pipes, manholes, outfalls).
1	<p>19. Location of Construction Control Measures and Permanent Control Measures to be constructed as a part of the proposed work. Construction Control Measures must be indicated using clear symbology and labels including abbreviations that match the Construction Control Measure detail sheets.</p> <ul style="list-style-type: none"> CCM abbreviations must match the CCM detail sheets, or be abbreviated in a clear manner if using an alternative control measure without an abbreviation on the detail sheet. CCM abbreviations should be shown in the legend. IP alone is sufficient – abbreviations on plan do not need to specify IP-2 (etc.). PCMs should be labeled with the type of PCM (EDB, sand filter, etc.). Details do not need to be included in the GEC Plan, as they are part of the PCM Plan.
1	<p>20. Location of concrete washout areas – Areas designated for concrete washout must be shown on the plan, or a note must be included indicating that concrete washout location will be determined by the contractor.</p> <ul style="list-style-type: none"> Concrete washouts must be shown at least 50' away from State Waters. Plans do not need to specify lined vs. unlined – that will be determined in the field.
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2	<p>24. Boundaries of the 100-yr floodplain, if applicable.</p> <p>N/A</p> <ul style="list-style-type: none"> A note is not needed if not applicable.
2	<p>25. Boundaries of the City Streamside Overlay, if applicable. Overlays do not need to be shown for capital projects.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. <p>N/A</p>
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2	<p>27. Existing utility locations and easements - grading over existing utilities or within dedicated easements is restricted. Contact Colorado Springs Utilities or easement owner for additional information.</p> <ul style="list-style-type: none"> If utilities are shown, reviewer is not responsible for checking individual utility line placement. If standard utility line types are used, utility line types are not required to be shown in legend. Utility easements should be labeled.

2	<p>28. Locations of preservation easements, if applicable.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. <p>N/A</p>
1	<p>29. Detail drawings of Construction Control Measures including installation and maintenance requirements. Details must match those provided in SCM Appendix E, or be approved through the alternative Construction Control Measure approval process.</p> <ul style="list-style-type: none"> Additional CCM details can be included in the GEC Plan, but are not required. SCM details, additional COS details on the website, MHFD details, and approved alternative details on the City's website are all acceptable If a detail is not included, a reference to the details on the City's website is required
1	<p>30. Anticipated starting and completion time period of land disturbance.</p> <ul style="list-style-type: none"> Time periods can specify month – specific date is not required Starting and completion time periods can be included on the same line
1	<p>31. Expected date on which the final stabilization will be completed. Combined with completion</p> <ul style="list-style-type: none"> Can be combined with completion time period if both will occur at the same time.
1	<p>32. Receiving Waters – Name of closest named receiving waters.</p>
1	<p>33. Flow arrows that depict stormwater flow directions. Arrows do not need to be located within the limits of the proposed grading if visibility is compromised by their inclusion.</p> <ul style="list-style-type: none"> Arrows should generally depict the direction of runoff – individual arrows can be slightly off if the majority of arrows are pointing in the correct direction.

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2	6. North arrow and bar scale
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1	<p>31. Expected date on which the final stabilization will be completed.</p> <ul style="list-style-type: none"> Can be combined with completion time period if both will occur at the same time.
1	<p>32. Receiving Waters – Name of closest named receiving waters.</p>
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Appendix A3: GEC Review Performed by Jacobs

GEC Review Audit Report

Date: June 28, 2024
Project name: Hancock Expressway Improvements
Client: City of Colorado Springs
Prepared by: Troy Slocum

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www.jacobs.com

1. Draft Audit Report – Hancock Expressway Improvements Grading and Erosion Control (GEC)

1.1 Documents Reviewed

The Hancock Expressway Improvements GEC Plans were provided to Jacobs to audit the City's review of the plans. This audit reviews the project GEC only and does not include the CSWMP or field inspections. Hancock Expressway is a Capital Improvement Project by the City of Colorado Springs.

The City's review of the GEC Plans followed standard City procedures.

This audit does not include the City's review and oversight of the installation and maintenance of permanent control measures or the City's compliance with Appendix A (Credit Table) and Appendix B (Verification of Functioning Control Measures) for Credited Measures.

1.2 Correspondence / Communications

Correspondence / communications with the City regarding the audit is limited to the task scope and transmission of the plans for review.

1.3 Finding of Noncompliance








The GEC review checklist was used to evaluate the project GEC plan. The Hancock Expressway Improvements GEC plans comply with the checklist requirements.

All Construction Control Measures (CCMs) appear to be appropriate for the site conditions and placed appropriately for the type of control measure.





2.3.3 GEC Plan Checklist







The GEC Plan shall include the following as a minimum. Clarification details are provided below each checklist item as necessary. Some items may not apply to a specific project; in that case, the checklist items are not required.

<u>Tier</u>	<u>Checklist Item</u>
2 ✓	1. <u>General vicinity map</u> – Show the relationship of the site to existing and planned roadways, jurisdictional boundaries, major creeks, and streams.
1 ✓	2. <u>Subdivision / Project name</u> – The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. <ul style="list-style-type: none"> Auditors will not be cross-checking the Final Subdivision Plat.
1 ✓	3. <u>Standard GEC Plan notes</u> – See SCM Appendix C.
2 ✓	4. <u>Cost estimate</u> of the Construction Control Measures including seeding and all installation and maintenance until final stabilization is achieved. A minimum of 40% of the total cost shall be added to the cost estimate for maintenance. A unit price list may be obtained from the Stormwater Enterprise. Cost estimates are not required for capital projects. <p style="color: red;">This is capital project so cost estimate not needed</p> <ul style="list-style-type: none"> Auditors will not check unit prices except for large errors Names do not need to match exactly, as long as it's clear what the item is


1 	<p>5. <u>Signature blocks</u> – See SCM Appendix D. Contractor signature is not required prior to GEC Plan approval.</p> <ul style="list-style-type: none"> Signatures blocks are reviewed for general conformance. Only signature blocks required by the SCM need to be included (for example, contractor signature is not needed on GEC Plan, even if the block is included).
2 	6. <u>North arrow and bar scale</u>
2 	7. <u>Plan view</u> – at a scale of 1-inch to 20-feet up to 1-inch to 50-feet.
1 	<p>8. <u>Property lines</u> for the site on which the work will be performed.</p> <ul style="list-style-type: none"> Property boundary, property line, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
1 	<p>9. <u>Areas of land disturbance</u> – total area of the site where any construction activity is expected to result in land disturbance of the ground surface.</p> <ul style="list-style-type: none"> Limits of disturbance, areas of land disturbance, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
2 	<p>10. <u>Construction site boundaries</u> – delineation of construction site boundaries.</p> <ul style="list-style-type: none"> Limits of construction, construction site boundary, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
1 	<p>11. <u>Existing topography</u> at one or two foot contour intervals. The map should extend a minimum of 10-feet beyond the property line for private development projects or beyond the project's land disturbance limits, whichever is larger.</p>

	<ul style="list-style-type: none"> The existing topography must extend at least to the project's disturbance limits. Extending beyond disturbance areas is optional.
1 ✓	<p>12. <u>Proposed topography</u> at one or two foot contour intervals. The map should show elevations and extent and the slope of all proposed grading.</p> <ul style="list-style-type: none"> Elevations and slope labels are optional. Proposed topography must extend to the disturbance limits, unless disturbed areas will remain at existing grade.
2 ✓	<p>13. <u>Location of any proposed features and structures</u> on the site, including paved areas, retaining walls (including top and bottom of wall elevations), etc.</p> <ul style="list-style-type: none"> Retaining wall elevations (top and bottom of wall) should be called out at least once per wall.
1 ✓	<p>14. <u>Adjacent existing and proposed development</u> affected by the construction. Labels must include ownership information and address or tax schedule numbers.</p> <ul style="list-style-type: none"> Adjacent areas not affected by construction can be labeled as not being affected.
1 ✓	<p>15. <u>Location of soil stockpiles</u> – Areas designated for topsoil and subsoil storage must be shown on the plan, or a note must be included indicating that stockpile location will be determined by the contractor. Stockpile locations to be determined by contractor must not result in additional land disturbance.</p>
2 ✓	<p>16. <u>Location of no-build areas</u> if indicated in a geologic hazard study.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. <p style="color: red;">No geologic hazard study for this project</p>
1 ✓	<p>17. <u>Location of existing or proposed water courses</u> – to include, but not limited to, groundwater springs, streams, wetlands, or other surface waters, including areas where the COR400000 requires that pre-existing vegetation be maintained within 50 feet of a receiving water.</p>

	<ul style="list-style-type: none"> Ditches and small unnamed tributaries do not need to be labeled. If there is a question as to whether a water course is named or not, the naming is determined based on the SpringsView basemap layer.
1 	<p>18. <u>Location of existing or proposed drainage features</u> on and adjacent to the site.</p> <ul style="list-style-type: none"> Drainage features include storm conveyance infrastructure larger than 12" (inlets, pipes, manholes, outfalls).
1 	<p>19. <u>Location of Construction Control Measures and Permanent Control Measures</u> to be constructed as a part of the proposed work. Construction Control Measures must be indicated using clear symbology and labels including abbreviations that match the Construction Control Measure detail sheets.</p> <ul style="list-style-type: none"> CCM abbreviations must match the CCM detail sheets, or be abbreviated in a clear manner if using an alternative control measure without an abbreviation on the detail sheet. CCM abbreviations should be shown in the legend. IP alone is sufficient – abbreviations on plan do not need to specify IP-2 (etc.). PCMs should be labeled with the type of PCM (EDB, sand filter, etc.). Details do not need to be included in the GEC Plan, as they are part of the PCM Plan.
1 	<p>20. <u>Location of concrete washout areas</u> – Areas designated for concrete washout must be shown on the plan, or a note must be included indicating that concrete washout location will be determined by the contractor.</p> <ul style="list-style-type: none"> Concrete washouts must be shown at least 50' away from State Waters. Plans do not need to specify lined vs. unlined – that will be determined in the field.
1 	<p>21. <u>Location of staging areas</u> – Staging area must be shown on the plan, or a note must be included indicating that staging area location will be determined by the contractor.</p>

1 	<p>22. <u>Vegetation</u> – existing vegetation to remain and proposed seeding areas. A note referencing the Landscaping Plan must be included on the GEC Plan if proposed vegetation will not be shown.</p> <ul style="list-style-type: none"> The Landscaping Plan does not need to be specifically named, as long as the reference is present.
1 	<p>23. <u>Location of any asphalt, concrete batch plants, and masonry mix stations</u>, if applicable.</p> <ul style="list-style-type: none"> A note is not needed if not applicable.
2 	<p>24. <u>Boundaries of the 100-yr floodplain</u>, if applicable.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. <p style="color: red;">No 100-yr floodplain impacts in project area</p>
2 	<p>25. <u>Boundaries of the City Streamside Overlay</u>, if applicable. Overlays do not need to be shown for capital projects.</p> <ul style="list-style-type: none"> A note is not needed if not applicable.
2 	<p>26. <u>Boundaries of the City Hillside Overlay</u>, if applicable. Overlays do not need to be shown for capital projects.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. If a site is completely in the Hillside Overlay, a note stating that is sufficient.
2 	<p>27. <u>Existing utility locations and easements</u> - grading over existing utilities or within dedicated easements is restricted. Contact Colorado Springs Utilities or easement owner for additional information.</p> <ul style="list-style-type: none"> If utilities are shown, reviewer is not responsible for checking individual utility line placement. If standard utility line types are used, utility line types are not required to be shown in legend. Utility easements should be labeled.

2 ✓	<p>28. <u>Locations of preservation easements</u>, if applicable.</p> <ul style="list-style-type: none"> A note is not needed if not applicable. <p>No preservation easement needed</p>
1 ✓	<p>29. <u>Detail drawings of Construction Control Measures</u> including installation and maintenance requirements. Details must match those provided in SCM Appendix E, or be approved through the alternative Construction Control Measure approval process.</p> <ul style="list-style-type: none"> Additional CCM details can be included in the GEC Plan, but are not required. SCM details, additional COS details on the website, MHFD details, and approved alternative details on the City's website are all acceptable If a detail is not included, a reference to the details on the City's website is required
1 ✓	<p>30. <u>Anticipated starting and completion time period of land disturbance</u>.</p> <ul style="list-style-type: none"> Time periods can specify month – specific date is not required Starting and completion time periods can be included on the same line
1 ✓	<p>31. <u>Expected date on which the final stabilization will be completed</u>.</p> <ul style="list-style-type: none"> Can be combined with completion time period if both will occur at the same time.
1 ✓	<p>32. <u>Receiving Waters</u> – Name of closest named receiving waters.</p>
1 ✓	<p>33. Flow arrows that depict stormwater flow directions. Arrows do not need to be located within the limits of the proposed grading if visibility is compromised by their inclusion.</p> <ul style="list-style-type: none"> Arrows should generally depict the direction of runoff – individual arrows can be slightly off if the majority of arrows are pointing in the correct direction.

1 	<p>34. Locations of all non-structural Control Measures. Nonstructural controls (like street sweeping) without a specific location may be described using notes.</p> <ul style="list-style-type: none">• This item is passed if at least one nonstructural control measure is identified.
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Appendix B1: CSWMP Selection

Table B-1: Selected CSWMP Reports reviewed

CSWMP Number	Title of Report	District	Project Type
C-4	Powers UC Health OH to UG	Capital Project	Public Project
C-13	Loch Fyne Gas Main Installation	Capital Project	Public Project
C-20	Middle Tributary Force Main Wastewater Replacement Project	Capital Project	Public Project
C-22	CSU Pepperwood-Knotwood WMRP	Capital Project	Public Project
C-37	Burgerworks E Fillmore Street	Central	Commercial
C-44	Tommy's Express-1540 Garden of the Gods Rd. Lots 1 & 2, Market Center at the Garden Subdivision, Filing No. 3	Central	Commercial
C-58	Patriot Park Subdivision Filing No. 8	Central	Mixed Use / Other
C-73	Flying Horse No. 21 Filing No. 5	North	Commercial
C-86	Wolf Ranch Detention Basin F18 and F19	North	Mixed Use / Other
C-90	Highline at Wolf Ranch Filing No. 16	North	Single Family Residential
C-97	Peak Technology Campus – Building #2	South	Commercial
C-107	Phil Long Hyundai Development	South	Commercial
C-108	Kelker Substation Expansion	South	Industrial

Appendix B2: CSWMP Checklists

2.3.4 CSWMP Checklist

The CSWMP shall include the following items. When some sections are not applicable, include a statement to that effect.

For auditor – in general, if a CSWMP item is included in the GEC Plan and the GEC Plan is in the appendix of the CSWMP, that counts. CCM names don't need to match.

Tier	Checklist Item
1	1. Name, Address, Phone Number of the Permittee, GEC Administrator, and preparing engineer if applicable.
1	2. Subdivision / Project name – The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. <ul style="list-style-type: none"> Auditor does not check the plat subdivision name, as long as a name is provided. Capital projects and projects not associated with a subdivision can use a separate project name.
1	3. Signature Blocks – See SCM Appendix D. Contractor and owner signatures are the same. Crew is internal <ul style="list-style-type: none"> Signatures blocks are reviewed for general conformance (typos, etc. do not detract from the signature block). Only signature blocks required by the SCM need to be included.
2	4. Adjacent Areas – A description of neighboring areas such as streams, residential areas, roads, etc., which may be affected by the land disturbance.



	<ul style="list-style-type: none"> A sentence with a broad description of the general area (residential, commercial, etc.) is acceptable.
1	5. Construction Phasing – Sites with land disturbance area greater than 30 acres must address construction phasing, including temporary stabilization methods for areas which will not be disturbed for 14 days at a time. <ul style="list-style-type: none"> A sentence or two describing construction phasing plans for sites over 30 acres.
1	6. Soils – A brief description of the soils on the site including information on soil type and character. <ul style="list-style-type: none"> A general description of the soils is sufficient. Reviewers aren't checking the specific soil types. Hydrologic Soil Group is not needed, and a WSS printout is not required. If included, a WSS printout fulfills this checklist item.
2	7. Soil Borings/Tests and Groundwater – Summary of soil borings and tests, including groundwater analysis and plan for safe discharge must be included if appropriate. <ul style="list-style-type: none"> Nothing is required if this is not applicable, a note referencing the geotechnical report is sufficient if the report is included in the CSWMP appendix.
1	8. Self-Inspections – A description of procedures and a schedule of regular inspections during construction for vegetation, erosion and sediment Control Measure repair, and other protective measures identified in the plan. Refer to SCM Chapter 6, Section 2.2 for specific self-inspection requirements. <ul style="list-style-type: none"> At a minimum, should include self-inspection frequency (14 day with post-storm inspections or 7 day).
1	9. GEC Administrator Certification – Include certificate of completion for City-sponsored Stormwater Management and Erosion Control During Construction class or approved equivalent.



	<ul style="list-style-type: none"> Only required for CSWMPs approved after 7/1. Equivalents are approved with the CSWMP approval (not a separate approval process).
1	<p>10. Designation of a Qualified Stormwater Manager, who can be the same as the GEC Administrator.</p>
2	<p>11. Spill Prevention and Response Plan (City reviews for inclusion only)</p> <ul style="list-style-type: none"> A plan must be provided (can be contained within the CSWMP text). Should be at least a paragraph (or a few bullets) long. The plan itself is not reviewed.
2	<p>12. Materials Handling The CSWMP must describe all Control Measures implemented at the site to minimize impacts from handling significant materials that could contribute pollutants to runoff. These handling procedures can include Control Measures for pollutants and activities such as exposed storage of building materials, paints and solvents, landscape materials, fertilizers or chemicals, sanitary waste material, trash and equipment maintenance or fueling procedures. (City reviews for inclusion only)</p> <ul style="list-style-type: none"> A materials handling approach must be provided (can be contained within the CSWMP text). The description should be at least a paragraph (or a few bullets) long. The description itself is not reviewed.
1	<p>13. Potential Sources of Pollution. The CSWMP must list all potential sources of pollution which may reasonably be expected to affect the quality of stormwater discharges associated with construction activity from the site. This shall include, but is not limited to, the following pollutant sources as applicable:</p> <ul style="list-style-type: none"> Disturbed and stored soils; Vehicle tracking of sediments; Management of contaminated soils; (City reviews for inclusion only) Loading and unloading operations; (City reviews for inclusion only) Outdoor storage activities (erodible building materials, fertilizers, chemicals, etc.); (City reviews for inclusion only)

	<ul style="list-style-type: none"> Vehicle and equipment maintenance and fueling; (City reviews for inclusion only) Significant dust or particulate generating processes (e.g., saw cutting material, including dust); (City reviews for inclusion only) Routine maintenance activities involving fertilizers, pesticides, herbicides, detergents, fuels, solvents, oils, etc.; (City reviews for inclusion only) On-site waste management practices (waste piles, liquid wastes, dumpsters); (City reviews for inclusion only) Concrete truck/equipment washing, including washing of the concrete truck chute and associated fixtures and equipment; (City reviews for inclusion only) Dedicated asphalt, concrete batch plants and masonry mixing stations; Non-industrial waste sources such as worker trash and portable toilets.
1	<p>14. Implementation of Control Measures The CSWMP must include design specifications that contain information on the implementation of the Control Measure in accordance with good engineering hydrologic and pollution control practices, including as applicable drawings, dimensions, installation information, materials, implementation processes, Control Measure-specific inspection expectations, and maintenance requirements. (City reviews for inclusion only)</p> <ul style="list-style-type: none"> If a CSWMP includes a paragraph or bullet list describing the control measure implementation, that is sufficient. The City is not required to review the content of the paragraph.

	<ul style="list-style-type: none"> A reference to the GEC Plan is sufficient for design specs and details. GEC Plan does not need to be included in the CSWMP. Additional specs and details in the CSWMP are not required.
2	<p>15. The CSWMP must include a documented use agreement between the applicable construction site owner or operator and the owner or operator of any Control Measures located outside of the construction site boundaries that are used by the applicable construction site for compliance with the GEC Plan, but not under the direct control of the applicable construction site owner or operator. The applicable construction site owner or operator is responsible for ensuring that all Control Measures located outside of the construction site boundaries, that are being used by the applicable construction site, are properly maintained and in compliance with all terms and conditions of Part 1.B.3. The CSWMP must include all information required of and relevant to any such Control Measures located outside the construction site boundaries, including location, installation specifications, design specifications and maintenance requirements. (City reviews for inclusion only)</p> <ul style="list-style-type: none"> If it's additional disturbance on City ROW, additional agreement isn't needed (approval of GEC Plan approves disturbance in the ROW). If it's additional disturbance on adjacent property, an email or letter should be included. The City does not review the letter or make sure the letter is signed (or email is sent) from the owner.
2	<p>16. Site Description to include, at a minimum, the following:</p> <ul style="list-style-type: none"> The nature of the construction activity at the site; <ul style="list-style-type: none"> This should include what is being built (apartment buildings, roadway project, etc.). It can be combined with the phasing description or a different part of the CSWMP. The proposed schedule for the sequence for major construction activities and the planned implementation of Control Measures for each phase. (e.g.: clearing, grading, utilities, vertical, etc.);

	<ul style="list-style-type: none"> Specific dates are not needed. This should be a sequence description (first overlot grading, then road building, then vertical construction as an example). Estimates of the total acreage of the site and the acreage expected to be disturbed by clearing, excavation, grading, or any other construction activities. One disturbance number fulfills this requirement. A summary of any existing data used in the development of the construction site plans or CSWMP that describe the soil or existing potential for soil erosion. (City reviews for inclusion only); <ul style="list-style-type: none"> This should be a sentence stating what data was used (or if there was no data). If WSS information is in the appendix, that counts without additional description in the narrative. A description of the percent of existing vegetative ground cover relative to the entire site and the method for determining the percentage. (City reviews for inclusion only); <ul style="list-style-type: none"> This item is fulfilled if the CSWMP contains an estimate of existing cover. A description of any allowable non-stormwater discharges at the site, including those being discharged under the applicable low risk discharge guidance policy. (City reviews for inclusion only); <ul style="list-style-type: none"> A list of other discharges is sufficient. If there are no other discharges, a note is not needed. A description of areas receiving discharge from the site. Including a description of the immediate source receiving the discharge. If the stormwater discharge is to a municipal separate storm sewer system, the name of the entity owning that system, the location of the storm sewer discharge, and the ultimate receiving water(s). (City reviews for inclusion only); and
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	<ul style="list-style-type: none">• A sentence stating what offsite areas discharge to the site (if any) is sufficient. A receiving water should be listed, but City does not review for accuracy. Additional information on downstream drainage system is not needed.<ul style="list-style-type: none">◦ A description of all stream crossings located within the construction site boundary.• Needed for all named stream crossings (based on Springs/View naming). A note is not required if no stream crossings are present in the project area.
1	<p>17. Final Stabilization and Long Term Stormwater Management. The CSWMP must describe the practices used to achieve final stabilization of all disturbed areas at the site and any planned practices to control pollutants in stormwater discharges that will occur after construction operations are completed. This shall include, but is not limited to, Permanent Control Measures, etc. A reference to specifications and/or the site Landscaping Plan may fulfill this requirement, if applicable.</p> <ul style="list-style-type: none">• Landscaping Plan does not need to be named, as long as there is a reference to the Landscaping Plan (project name is not needed).

2.3.4 CSWMP Checklist

The CSWMP shall include the following items. When some sections are not applicable, include a statement to that effect.

For auditor – in general, if a CSWMP item is included in the GEC Plan and the GEC Plan is in the appendix of the CSWMP, that counts. CCM names don't need to match.

Tier	Checklist Item
1	1. <u>Name, Address, Phone Number</u> of the Permittee, GEC Administrator, and preparing engineer if applicable.
1	2. <u>Subdivision / Project name</u> – The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. <ul style="list-style-type: none"> Auditor does not check the plat subdivision name, as long as a name is provided. Capital projects and projects not associated with a subdivision can use a separate project name.
1	3. <u>Signature Blocks</u> – See SCM Appendix D. <ul style="list-style-type: none"> Signatures blocks are reviewed for general conformance (typos, etc. do not detract from the signature block). Only signature blocks required by the SCM need to be included.
2	4. <u>Adjacent Areas</u> – A description of neighboring areas such as streams, residential areas, roads, etc., which may be affected by the land disturbance.

	<ul style="list-style-type: none"> A sentence with a broad description of the general area (residential, commercial, etc.) is acceptable.
1 n/a	5. <u>Construction Phasing</u> – Sites with land disturbance area greater than 30 acres must address construction phasing, including temporary stabilization methods for areas which will not be disturbed for 14 days at a time. <ul style="list-style-type: none"> A sentence or two describing construction phasing plans for sites over 30 acres.
1	6. <u>Soils</u> – A brief description of the soils on the site including information on soil type and character. <ul style="list-style-type: none"> A general description of the soils is sufficient. Reviewers aren't checking the specific soil types. Hydrologic Soil Group is not needed, and a WSS printout is not required. If included, a WSS printout fulfills this checklist item.
2	7. <u>Soil Borings/Tests and Groundwater</u> – Summary of soil borings and tests, including groundwater analysis and plan for safe discharge must be included if appropriate. <ul style="list-style-type: none"> Nothing is required if this is not applicable, a note referencing the geotechnical report is sufficient if the report is included in the CSWMP appendix.
1	8. <u>Self-Inspections</u> – A description of procedures and a schedule of regular inspections during construction for vegetation, erosion and sediment Control Measure repair, and other protective measures identified in the plan. Refer to SCM Chapter 6, Section 2.2 for specific self-inspection requirements. <ul style="list-style-type: none"> At a minimum, should include self-inspection frequency (14 day with post-storm inspections or 7 day).
1	9. <u>GEC Administrator Certification</u> – Include certificate of completion for City-sponsored Stormwater Management and Erosion Control During Construction class or approved equivalent.

	<ul style="list-style-type: none"> Only required for CSWMPs approved after 7/1. Equivalents are approved with the CSWMP approval (not a separate approval process).
1	10. Designation of a Qualified Stormwater Manager, who can be the same as the GEC Administrator.
2	11. Spill Prevention and Response Plan. (City reviews for inclusion only) <ul style="list-style-type: none"> A plan must be provided (can be contained within the CSWMP text). Should be at least a paragraph (or a few bullets) long. The plan itself is not reviewed.
2	12. Materials Handling. The CSWMP must describe all Control Measures implemented at the site to minimize impacts from handling significant materials that could contribute pollutants to runoff. These handling procedures can include Control Measures for pollutants and activities such as exposed storage of building materials, paints and solvents, landscape materials, fertilizers or chemicals, sanitary waste material, trash and equipment maintenance or fueling procedures. (City reviews for inclusion only) <ul style="list-style-type: none"> A materials handling approach must be provided (can be contained within the CSWMP text). The description should be at least a paragraph (or a few bullets) long. The description itself is not reviewed.
1	13. Potential Sources of Pollution. The CSWMP must list all potential sources of pollution which may reasonably be expected to affect the quality of stormwater discharges associated with construction activity from the site. This shall include, but is not limited to, the following pollutant sources as applicable: <ul style="list-style-type: none"> Disturbed and stored soils; Vehicle tracking of sediments; Management of contaminated soils; (City reviews for inclusion only) Loading and unloading operations; (City reviews for inclusion only) Outdoor storage activities (erodible building materials, fertilizers, chemicals, etc.); (City reviews for inclusion only)

	<ul style="list-style-type: none"> Vehicle and equipment maintenance and fueling; (City reviews for inclusion only) Significant dust or particulate generating processes (e.g., saw cutting material, including dust); (City reviews for inclusion only) Routine maintenance activities involving fertilizers, pesticides, herbicides, detergents, fuels, solvents, oils, etc.; (City reviews for inclusion only) On-site waste management practices (waste piles, liquid wastes, dumpsters); (City reviews for inclusion only) Concrete truck/equipment washing, including washing of the concrete truck chute and associated fixtures and equipment; (City reviews for inclusion only) Dedicated asphalt, concrete batch plants and masonry mixing stations; Non-industrial waste sources such as worker trash and portable toilets.
1	<ul style="list-style-type: none"> In general, a list of potential pollutants is sufficient – no additional explanation is needed. Only pollutants that are present on site need to be listed. "As applicable" is open to interpretation. This item is fulfilled if the potential sources of pollution included or not included are reasonable, even if they do not match the Auditor's preference / interpretation.
1	14. Implementation of Control Measures. The CSWMP must include design specifications that contain information on the implementation of the Control Measure in accordance with good engineering hydrologic and pollution control practices, including as applicable drawings, dimensions, installation information, materials, implementation processes, Control Measure-specific inspection expectations, and maintenance requirements. (City reviews for inclusion only) <ul style="list-style-type: none"> If a CSWMP includes a paragraph or bullet list describing the control measure implementation, that is sufficient. The City is not required to review the content of the paragraph.

	<ul style="list-style-type: none"> A reference to the GEC Plan is sufficient for design specs and details. GEC Plan does not need to be included in the CSWMP. Additional specs and details in the CSWMP are not required.
2 n/a	<p>15. The CSWMP must include a documented use agreement between the applicable construction site owner or operator and the owner or operator of any Control Measures located outside of the construction site boundaries that are used by the applicable construction site for compliance with the GEC Plan, but not under the direct control of the applicable construction site owner or operator. The applicable construction site owner or operator is responsible for ensuring that all Control Measures located outside of the construction site boundaries, that are being used by the applicable construction site, are properly maintained and in compliance with all terms and conditions of Part 1.B.3. The CSWMP must include all information required of and relevant to any such Control Measures located outside the construction site boundaries, including location, installation specifications, design specifications and maintenance requirements. (City reviews for inclusion only)</p> <ul style="list-style-type: none"> If it's additional disturbance on City ROW, additional agreement isn't needed (approval of GEC Plan approves disturbance in the ROW). If it's additional disturbance on adjacent property, an email or letter should be included. The City does not review the letter or make sure the letter is signed (or email is sent) from the owner.
2	<p>16. Site Description to include, at a minimum, the following:</p> <ul style="list-style-type: none"> The nature of the construction activity at the site; <ul style="list-style-type: none"> This should include what is being built (apartment buildings, roadway project, etc.). It can be combined with the phasing description or a different part of the CSWMP. The proposed schedule for the sequence for major construction activities and the planned implementation of Control Measures for each phase. (e.g.: clearing, grading, utilities, vertical, etc.);

	<ul style="list-style-type: none"> Specific dates are not needed. This should be a sequence description (first overlot grading, then road building, then vertical construction as an example). Estimates of the total acreage of the site and the acreage expected to be disturbed by clearing, excavation, grading, or any other construction activities. <ul style="list-style-type: none"> One disturbance number fulfills this requirement. A summary of any existing data used in the development of the construction site plans or CSWMP that describe the soil or existing potential for soil erosion. (City reviews for inclusion only); <ul style="list-style-type: none"> This should be a sentence stating what data was used (or if there was no data). If WSS information is in the appendix, that counts without additional description in the narrative. A description of the percent of existing vegetative ground cover relative to the entire site and the method for determining the percentage. (City reviews for inclusion only); <ul style="list-style-type: none"> This item is fulfilled if the CSWMP contains an estimate of existing cover. A description of any allowable non-stormwater discharges at the site, including those being discharged under the applicable low risk discharge guidance policy. (City reviews for inclusion only); <ul style="list-style-type: none"> A list of other discharges is sufficient. If there are no other discharges, a note is not needed. A description of areas receiving discharge from the site, including a description of the immediate source receiving the discharge. If the stormwater discharge is to a municipal separate storm sewer system, the name of the entity owning that system, the location of the storm sewer discharge, and the ultimate receiving water(s). (City reviews for inclusion only); and
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	<ul style="list-style-type: none">• A sentence stating what offsite areas discharge to the site (if any) is sufficient. A receiving water should be listed, but City does not review for accuracy. Additional information on downstream drainage system is not needed.<ul style="list-style-type: none">◦ A description of all stream crossings located within the construction site boundary.• Needed for all named stream crossings (based on Springs/View naming). A note is not required if no stream crossings are present in the project area.
1	<p>17. Final Stabilization and Long Term Stormwater Management. The CSWMP must describe the practices used to achieve final stabilization of all disturbed areas at the site and any planned practices to control pollutants in stormwater discharges that will occur after construction operations are completed. This shall include, but is not limited to, Permanent Control Measures, etc. A reference to specifications and/or the site Landscaping Plan may fulfill this requirement, if applicable.</p> <ul style="list-style-type: none">• Landscaping Plan does not need to be named, as long as there is a reference to the Landscaping Plan (project name is not needed).

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1	3. <u>Signature Blocks</u> – See SCM Appendix D. <ul style="list-style-type: none"> Signatures blocks are reviewed for general conformance (typos, etc. do not detract from the signature block). Only signature blocks required by the SCM need to be included.
2	4. <u>Adjacent Areas</u> – A description of neighboring areas such as streams, residential areas, roads, etc., which may be affected by the land disturbance.



	<ul style="list-style-type: none"> A sentence with a broad description of the general area (residential, commercial, etc.) is acceptable.
1	5. <u>Construction Phasing</u> – Sites with land disturbance area greater than 30 acres must address construction phasing, including temporary stabilization methods for areas which will not be disturbed for 14 days at a time. <ul style="list-style-type: none"> A sentence or two describing construction phasing plans for sites over 30 acres.
1	6. <u>Soils</u> – A brief description of the soils on the site including information on soil type and character. <p>n/a</p> <ul style="list-style-type: none"> A general description of the soils is sufficient. Reviewers aren't checking the specific soil types. Hydrologic Soil Group is not needed, and a WSS printout is not required. If included, a WSS printout fulfills this checklist item.
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1	9. <u>GEC Administrator Certification</u> – Include certificate of completion for City-sponsored Stormwater Management and Erosion Control During Construction class or approved equivalent.



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	<ul style="list-style-type: none"> Only required for CSWMPs approved after 7/1. Equivalents are approved with the CSWMP approval (not a separate approval process).
1	10. Designation of a Qualified Stormwater Manager, who can be the same as the GEC Administrator.
2	<p>11. Spill Prevention and Response Plan. (City reviews for inclusion only)</p> <ul style="list-style-type: none"> A plan must be provided (can be contained within the CSWMP text). Should be at least a paragraph (or a few bullets) long. The plan itself is not reviewed.
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Audit Work Plan
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1	<p>14. Implementation of Control Measures. The CSWMP must include design specifications that contain information on the implementation of the Control Measure in accordance with good engineering hydrologic and pollution control practices, including as applicable drawings, dimensions, installation information, materials, implementation processes, Control Measure-specific inspection expectations, and maintenance requirements. (City reviews for inclusion only)</p> <ul style="list-style-type: none"> If a CSWMP includes a paragraph or bullet list describing the control measure implementation, that is sufficient. The City is not required to review the content of the paragraph.
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2 n/a	<p>15. The CSMWP must include a documented use agreement between the applicable construction site owner or operator and the owner or operator of any Control Measures located outside of the construction site boundaries that are used by the applicable construction site for compliance with the GEC Plan, but not under the direct control of the applicable construction site owner or operator. The applicable construction site owner or operator is responsible for ensuring that all Control Measures located outside of the construction site boundaries, that are being used by the applicable construction site, are properly maintained and in compliance with all terms and conditions of Part 1.B.3. The CSMWP must include all information required of and relevant to any such Control Measures located outside the construction site boundaries, including location, installation specifications, design specifications and maintenance requirements. (City reviews for inclusion only)</p> <ul style="list-style-type: none"> If it's additional disturbance on City ROW, additional agreement isn't needed (approval of GEC Plan approves disturbance in the ROW). If it's additional disturbance on adjacent property, an email or letter should be included. The City does not review the letter or make sure the letter is signed (or email is sent) from the owner.
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	<ul style="list-style-type: none"> A sentence with a broad description of the general area (residential, commercial, etc.) is acceptable.
1	5. Construction Phasing – Sites with land disturbance area greater than 30 acres must address construction phasing, including temporary stabilization methods for areas which will not be disturbed for 14 days at a time. <ul style="list-style-type: none"> A sentence or two describing construction phasing plans for sites over 30 acres.
1	6. Soils – A brief description of the soils on the site including information on soil type and character. <ul style="list-style-type: none"> A general description of the soils is sufficient. Reviewers aren't checking the specific soil types. Hydrologic Soil Group is not needed, and a WSS printout is not required. If included, a WSS printout fulfills this checklist item.
2	7. Soil Borings/Tests and Groundwater – Summary of soil borings and tests, including groundwater analysis and plan for safe discharge must be included if appropriate. <ul style="list-style-type: none"> Nothing is required if this is not applicable, a note referencing the geotechnical report is sufficient if the report is included in the CSWMP appendix.
1	8. Self-Inspections – A description of procedures and a schedule of regular inspections during construction for vegetation, erosion and sediment Control Measure repair, and other protective measures identified in the plan. Refer to SCM Chapter 6, Section 2.2 for specific self-inspection requirements. <ul style="list-style-type: none"> At a minimum, should include self-inspection frequency (14 day with post-storm inspections or 7 day).
1	9. GEC Administrator Certification – Include certificate of completion for City-sponsored Stormwater Management and Erosion Control During Construction class or approved equivalent.



	<ul style="list-style-type: none"> Only required for CSWMPs approved after 7/1. Equivalents are approved with the CSWMP approval (not a separate approval process).
1	10. Designation of a Qualified Stormwater Manager, who can be the same as the GEC Administrator;
2	11. Spill Prevention and Response Plan (City reviews for inclusion only) <ul style="list-style-type: none"> A plan must be provided (can be contained within the CSWMP text). Should be at least a paragraph (or a few bullets) long. The plan itself is not reviewed.
2	12. Materials Handling. The CSWMP must describe all Control Measures implemented at the site to minimize impacts from handling significant materials that could contribute pollutants to runoff. These handling procedures can include Control Measures for pollutants and activities such as exposed storage of building materials, paints and solvents, landscape materials, fertilizers or chemicals, sanitary waste material, trash and equipment maintenance or fueling procedures. (City reviews for inclusion only) <ul style="list-style-type: none"> A materials handling approach must be provided (can be contained within the CSWMP text). The description should be at least a paragraph (or a few bullets) long. The description itself is not reviewed.
1	13. Potential Sources of Pollution. The CSWMP must list all potential sources of pollution which may reasonably be expected to affect the quality of stormwater discharges associated with construction activity from the site. This shall include, but is not limited to, the following pollutant sources as applicable: <ul style="list-style-type: none"> Disturbed and stored soils; Vehicle tracking of sediments; Management of contaminated soils; (City reviews for inclusion only) Loading and unloading operations; (City reviews for inclusion only) Outdoor storage activities (erectible building materials, fertilizers, chemicals, etc.); (City reviews for inclusion only)

	<ul style="list-style-type: none"> Vehicle and equipment maintenance and fueling; (City reviews for inclusion only) Significant dust or particulate generating processes (e.g., saw cutting material, including dust); (City reviews for inclusion only) Routine maintenance activities involving fertilizers, pesticides, herbicides, detergents, fuels, solvents, oils, etc.; (City reviews for inclusion only) On-site waste management practices (waste piles, liquid wastes, dumpsters); (City reviews for inclusion only) Concrete truck/equipment washing, including washing of the concrete truck chute and associated fixtures and equipment; (City reviews for inclusion only) Dedicated asphalt, concrete batch plants and masonry mixing stations; Non-industrial waste sources such as worker trash and portable toilets.
1	<ul style="list-style-type: none"> In general, a list of potential pollutants is sufficient – no additional explanation is needed. Only pollutants that are present on site need to be listed. "As applicable" is open to interpretation. This item is fulfilled if the potential sources of pollution included or not included are reasonable, even if they do not match the Auditor's preference / interpretation.
1	14. Implementation of Control Measures. The CSWMP must include design specifications that contain information on the implementation of the Control Measure in accordance with good engineering hydrologic and pollution control practices, including as applicable drawings, dimensions, installation information, materials, implementation processes, Control Measure-specific inspection expectations, and maintenance requirements. (City reviews for inclusion only) <ul style="list-style-type: none"> If a CSWMP includes a paragraph or bullet list describing the control measure implementation, that is sufficient. The City is not required to review the content of the paragraph.

	<ul style="list-style-type: none"> A reference to the GEC Plan is sufficient for design specs and details. GEC Plan does not need to be included in the CSMWP. Additional specs and details in the CSMWP are not required.
2	<p>15. The CSMWP must include a documented use agreement between the applicable construction site owner or operator and the owner or operator of any Control Measures located outside of the construction site boundaries that are used by the applicable construction site for compliance with the GEC Plan, but not under the direct control of the applicable construction site owner or operator. The applicable construction site owner or operator is responsible for ensuring that all Control Measures located outside of the construction site boundaries, that are being used by the applicable construction site, are properly maintained and in compliance with all terms and conditions of Part 1.B.3. The CSMWP must include all information required of and relevant to any such Control Measures located outside the construction site boundaries, including location, installation specifications, design specifications and maintenance requirements. (City reviews for inclusion only)</p> <ul style="list-style-type: none"> If it's additional disturbance on City ROW, additional agreement isn't needed (approval of GEC Plan approves disturbance in the ROW). If it's additional disturbance on adjacent property, an email or letter should be included. The City does not review the letter or make sure the letter is signed (or email is sent) from the owner.
2	<p>16. Site Description to include, at a minimum, the following:</p> <ul style="list-style-type: none"> The nature of the construction activity at the site; <ul style="list-style-type: none"> This should include what is being built (apartment buildings, roadway project, etc.). It can be combined with the phasing description or a different part of the CSMWP. The proposed schedule for the sequence for major construction activities and the planned implementation of Control Measures for each phase. (e.g.: clearing, grading, utilities, vertical, etc.);

	<ul style="list-style-type: none"> Specific dates are not needed. This should be a sequence description (first overlot grading, then road building, then vertical construction as an example). Estimates of the total acreage of the site and the acreage expected to be disturbed by clearing, excavation, grading, or any other construction activities. One disturbance number fulfills this requirement. One summary of any existing data used in the development of the construction site plans or CSMWP that describe the soil or existing potential for soil erosion. (City reviews for inclusion only); This should be a sentence stating what data was used (or if there was no data). If WSS information is in the appendix, that counts without additional description in the narrative. A description of the percent of existing vegetative ground cover relative to the entire site and the method for determining the percentage. (City reviews for inclusion only); This item is fulfilled if the CSMWP contains an estimate of existing cover. A description of any allowable non-stormwater discharges at the site, including those being discharged under the applicable low risk discharge guidance policy. (City reviews for inclusion only); A list of other discharges is sufficient. If there are no other discharges, a note is not needed. A description of areas receiving discharge from the site, including a description of the immediate source receiving the discharge. If the stormwater discharge is to a municipal separate storm sewer system, the name of the entity owning that system, the location of the storm sewer discharge, and the ultimate receiving water(s). (City reviews for inclusion only); and
--	---

	<ul style="list-style-type: none">• A sentence stating what offsite areas discharge to the site (if any) is sufficient. A receiving water should be listed, but City does not review for accuracy. Additional information on downstream drainage system is not needed.◦ A description of all stream crossings located within the construction site boundary.• Needed for all named stream crossings (based on SpringsView naming). A note is not required if no stream crossings are present in the project area.
1	<p>17. Final Stabilization and Long Term Stormwater Management. The CSWMP must describe the practices used to achieve final stabilization of all disturbed areas at the site and any planned practices to control pollutants in stormwater discharges that will occur after construction operations are completed. This shall include, but is not limited to, Permanent Control Measures, etc. A reference to specifications and/or the site Landscaping Plan may fulfill this requirement, if applicable.</p> <ul style="list-style-type: none">• Landscaping Plan does not need to be named, as long as there is a reference to the Landscaping Plan (project name is not needed).

2.3.4 CSWMP Checklist

The CSWMP shall include the following items. When some sections are not applicable, include a statement to that effect.

For auditor – in general, if a CSWMP item is included in the GEC Plan and the GEC Plan is in the appendix of the CSWMP, that counts. CCM names don't need to match.

Tier	Checklist Item	Permittee is not explicitly stated
1	1. Name, Address, Phone Number of the Permittee, GEC Administrator, and preparing engineer if applicable.	
1	2. Subdivision / Project name – The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. <ul style="list-style-type: none"> Auditor does not check the plat subdivision name, as long as a name is provided. Capital projects and projects not associated with a subdivision can use a separate project name. 	
1	3. Signature Blocks – See SCM Appendix D. <ul style="list-style-type: none"> Signatures blocks are reviewed for general conformance (typos, etc. do not detract from the signature block). Only signature blocks required by the SCM need to be included. 	
2	4. Adjacent Areas – A description of neighboring areas such as streams, residential areas, roads, etc., which may be affected by the land disturbance.	



	<ul style="list-style-type: none"> A sentence with a broad description of the general area (residential, commercial, etc.) is acceptable.
1	5. Construction Phasing – Sites with land disturbance area greater than 30 acres must address construction phasing, including temporary stabilization methods for areas which will not be disturbed for 14 days at a time. <ul style="list-style-type: none"> A sentence or two describing construction phasing plans for sites over 30 acres.
1	6. Soils – A brief description of the soils on the site including information on soil type and character. <ul style="list-style-type: none"> A general description of the soils is sufficient. Reviewers aren't checking the specific soil types. Hydrologic Soil Group is not needed, and a WSS printout is not required. If included, a WSS printout fulfills this checklist item.
2	7. Soil Borings/Tests and Groundwater – Summary of soil borings and tests, including groundwater analysis and plan for safe discharge must be included if appropriate. <ul style="list-style-type: none"> Nothing is required if this is not applicable, a note referencing the geotechnical report is sufficient if the report is included in the CSWMP appendix.
1	8. Self-Inspections – A description of procedures and a schedule of regular inspections during construction for vegetation, erosion and sediment Control Measure repair, and other protective measures identified in the plan. Refer to SCM Chapter 6, Section 2.2 for specific self-inspection requirements. <ul style="list-style-type: none"> At a minimum, should include self-inspection frequency (14 day with post-storm inspections or 7 day).
1	9. GEC Administrator Certification – Include certificate of completion for City-sponsored Stormwater Management and Erosion Control During Construction class or approved equivalent.



	<ul style="list-style-type: none"> Only required for CSWMPs approved after 7/1. Equivalents are approved with the CSWMP approval (not a separate approval process).
1	10. Designation of a Qualified Stormwater Manager, who can be the same as the GEC Administrator.
2	11. Spill Prevention and Response Plan. (City reviews for inclusion only) <ul style="list-style-type: none"> A plan must be provided (can be contained within the CSWMP text). Should be at least a paragraph (or a few bullets) long. The plan itself is not reviewed.
2	12. Materials Handling. The CSWMP must describe all Control Measures implemented at the site to minimize impacts from handling significant materials that could contribute pollutants to runoff. These handling procedures can include Control Measures for pollutants and activities such as exposed storage of building materials, paints and solvents, landscape materials, fertilizers or chemicals, sanitary waste material, trash and equipment maintenance or fueling procedures. (City reviews for inclusion only) <ul style="list-style-type: none"> A materials handling approach must be provided (can be contained within the CSWMP text). The description should be at least a paragraph (or a few bullets) long. The description itself is not reviewed.
1	13. Potential Sources of Pollution. The CSWMP must list all potential sources of pollution which may reasonably be expected to affect the quality of stormwater discharges associated with construction activity from the site. This shall include, but is not limited to, the following pollutant sources as applicable: <ul style="list-style-type: none"> Disturbed and stored soils; Vehicle tracking of sediments; Management of contaminated soils; (City reviews for inclusion only) Loading and unloading operations; (City reviews for inclusion only) Outdoor storage activities (erodible building materials, fertilizers, chemicals, etc.); (City reviews for inclusion only)



	<ul style="list-style-type: none"> Vehicle and equipment maintenance and fueling; (City reviews for inclusion only) Significant dust or particulate generating processes (e.g., saw cutting material, including dust); (City reviews for inclusion only) Routine maintenance activities involving fertilizers, pesticides, herbicides, detergents, fuels, solvents, oils, etc.; (City reviews for inclusion only) On-site waste management practices (waste piles, liquid wastes, dumpsters); (City reviews for inclusion only) Concrete truck/equipment washing, including washing of the concrete truck chute and associated fixtures and equipment; (City reviews for inclusion only) Dedicated asphalt, concrete batch plants and masonry mixing stations; Non-industrial waste sources such as worker trash and portable toilets.
1	<ul style="list-style-type: none"> In general, a list of potential pollutants is sufficient – no additional explanation is needed. Only pollutants that are present on site need to be listed. "As applicable" is open to interpretation. This item is fulfilled if the potential sources of pollution included or not included are reasonable, even if they do not match the Auditor's preference / interpretation.
1	14. Implementation of Control Measures. The CSWMP must include design specifications that contain information on the implementation of the Control Measure in accordance with good engineering hydrologic and pollution control practices, including as applicable drawings, dimensions, installation information, materials, implementation processes, Control Measure-specific inspection expectations, and maintenance requirements. (City reviews for inclusion only) <ul style="list-style-type: none"> If a CSWMP includes a paragraph or bullet list describing the control measure implementation, that is sufficient. The City is not required to review the content of the paragraph.



	<ul style="list-style-type: none"> A reference to the GEC Plan is sufficient for design specs and details. GEC Plan does not need to be included in the CSMWP. Additional specs and details in the CSMWP are not required.
2	<p>15. The CSMWP must include a documented use agreement between the applicable construction site owner or operator and the owner or operator of any Control Measures located outside of the construction site boundaries that are used by the applicable construction site for compliance with the GEC Plan, but not under the direct control of the applicable construction site owner or operator. The applicable construction site owner or operator is responsible for ensuring that all Control Measures located outside of the construction site boundaries, that are being used by the applicable construction site, are properly maintained and in compliance with all terms and conditions of Part 1.B.3. The CSMWP must include all information required of and relevant to any such Control Measures located outside the construction site boundaries, including location, installation specifications, design specifications and maintenance requirements. (City reviews for inclusion only)</p> <ul style="list-style-type: none"> If it's additional disturbance on City ROW, additional agreement isn't needed (approval of GEC Plan approves disturbance in the ROW). If it's additional disturbance on adjacent property, an email or letter should be included. The City does not review the letter or make sure the letter is signed (or email is sent) from the owner.
2	<p>16. Site Description to include, at a minimum, the following:</p> <ul style="list-style-type: none"> The nature of the construction activity at the site; This should include what is being built (apartment buildings, roadway project, etc.). It can be combined with the phasing description or a different part of the CSMWP. The proposed schedule for the sequence for major construction activities and the planned implementation of Control Measures for each phase. (e.g.: clearing, grading, utilities, vertical, etc.);

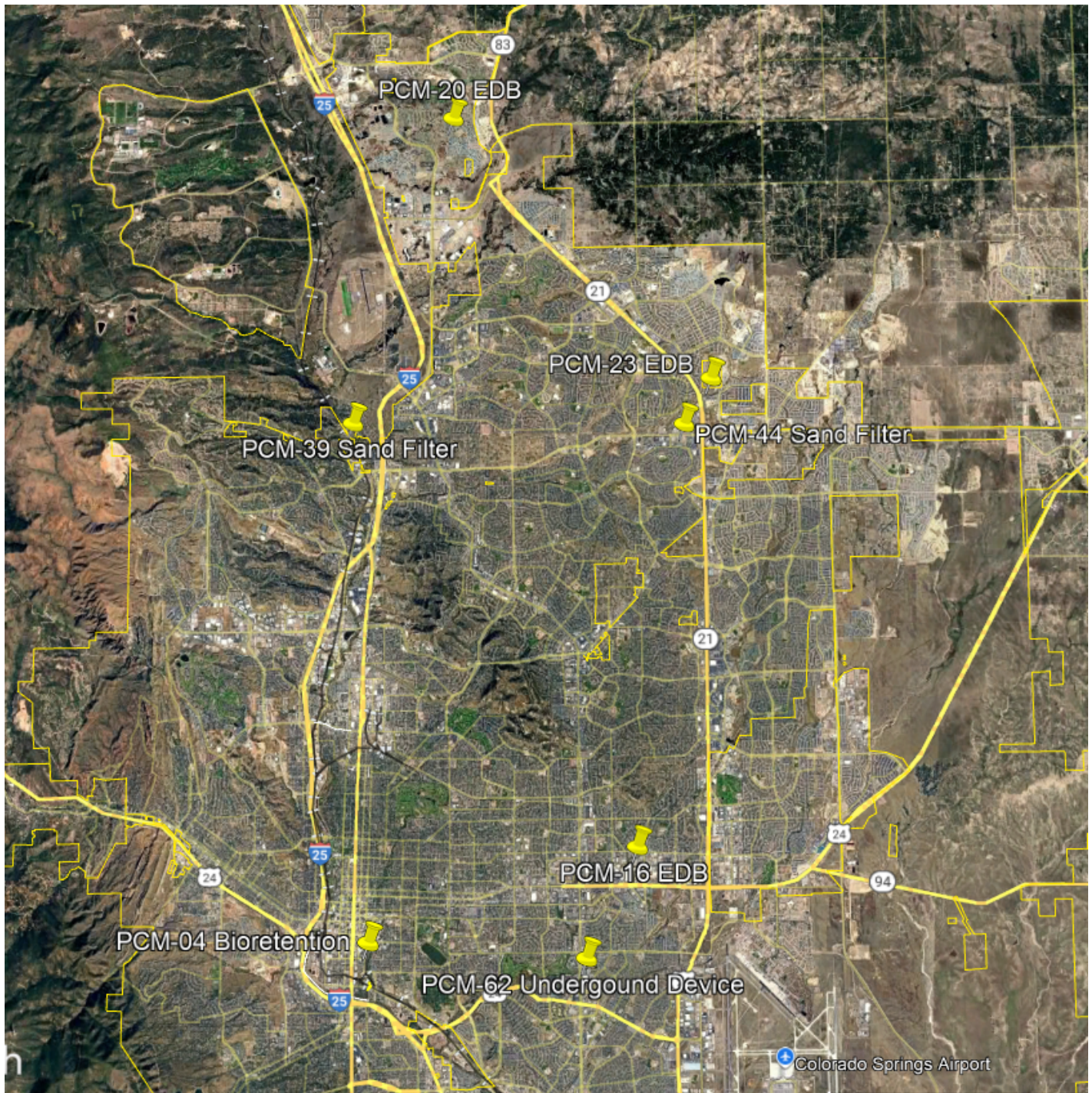


	<ul style="list-style-type: none"> Specific dates are not needed. This should be a sequence description (first overlot grading, then road building, then vertical construction as an example). Estimates of the total acreage of the site and the acreage expected to be disturbed by clearing, excavation, grading, or any other construction activities. One disturbance number fulfills this requirement. One summary of any existing data used in the development of the construction site plans or CSMWP that describe the soil or existing potential for soil erosion. (City reviews for inclusion only); This should be a sentence stating what data was used (or if there was no data). If WSS information is in the appendix, that counts without additional description in the narrative. A description of the percent of existing vegetative ground cover relative to the entire site and the method for determining the percentage. (City reviews for inclusion only); This item is fulfilled if the CSMWP contains an estimate of existing cover. A list of other discharges is sufficient. If there are no other discharges, a note is not needed. A description of areas receiving discharge from the site, including a description of the immediate source receiving the discharge. If the stormwater discharge is to a municipal separate storm sewer system, the name of the entity owning that system, the location of the storm sewer discharge, and the ultimate receiving water(s). (City reviews for inclusion only); and
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	<ul style="list-style-type: none">• A sentence stating what offsite areas discharge to the site (if any) is sufficient. A receiving water should be listed, but City does not review for accuracy. Additional information on downstream drainage system is not needed.◦ A description of all stream crossings located within the construction site boundary.• Needed for all named stream crossings (based on Springs/View naming). A note is not required if no stream crossings are present in the project area.
1	<p>17. Final Stabilization and Long Term Stormwater Management. The CSWMP must describe the practices used to achieve final stabilization of all disturbed areas at the site and any planned practices to control pollutants in stormwater discharges that will occur after construction operations are completed. This shall include, but is not limited to, Permanent Control Measures, etc. A reference to specifications and/or the site Landscaping Plan may fulfill this requirement, if applicable.</p> <ul style="list-style-type: none">• Landscaping Plan does not need to be named, as long as there is a reference to the Landscaping Plan (project name is not needed).

Appendix C1: PCM Location Map



Appendix C2: PCM Report Summaries



Permanent Control Measures Audit

Project Name: PCM-04 Rio Grande Apartments

Date: 02/29/2024

Project Owner: 345 Rio Grande LLC

HDR Project No:

Weather Conditions: 65 °F , Sunny

PCM Document Review

Does the City have the following documents on file, and do the documents appear to be appropriate for the specific PCM:

- | | |
|--|-----|
| • Drainage Report (Drainage Letter, etc.) | Yes |
| • PE Certification | Yes |
| • As-Built Plan | Yes |
| • Reference to Appropriate Inspection & Maintenance Plan | Yes |
| • City Final Acceptance Letter | Yes |
| • Does the Report contain appropriate WQ Storage Volume for specific PCM | Yes |

PCM Field Inspection

- | | |
|---|-----|
| • Is the PCM located per the plan? | Yes |
| • Do site grading and constructed conveyance systems appear to direct runoff from areas identified in the drainage report for treatment by the control measure? | Yes |

Are the following features present based on the type of control measure and installed in accordance with the approved drainage report?

BIORETENTION/SAND FILTER BASIN	
INFILTRATION MEDIA (PRESENT BASED ON OBSERVATION)	YES
UNDERDRAIN CONNECTION TO OUTLET STRUCTURE	YES
OUTLET STRUCTURE	YES
EMERGENCY OVERFLOW	YES

Notes: .

Pictures:







Permanent Control Measures Audit

Project Name: PCM-16 Clark Place Filing No. 1

Date: 2/29/2024

Project Owner: Steve Hammers

HDR Project No:

Weather Conditions: 65 F , Sunny

PCM Document Review

Does the City have the following documents on file, and do the documents appear to be appropriate for the specific PCM:

- | | |
|--|-----|
| • Drainage Report (Drainage Letter, etc.) | Yes |
| • PE Certification | Yes |
| • As-Built Plan | Yes |
| • Reference to Appropriate Inspection & Maintenance Plan | Yes |
| • City Final Acceptance Letter | Yes |
| • Does the Report contain appropriate WQ Storage Volume for specific PCM | Yes |

PCM Field Inspection

- | | |
|---|-----|
| • Is the PCM located per the plan? | Yes |
| • Do site grading and constructed conveyance systems appear to direct runoff from areas identified in the drainage Report for treatment by the control measure? | Yes |

Are the following features present based on the type of control measure and installed in accordance with the approved drainage report?

EXTENDED DETENTION BASIN (EDB)	
FOREBAY(S)	YES
MICROPOOL	YES
LOW-FLOW CHANNEL	YES
OUTLET STRUCTURE	YES
EMERGENCY OVERFLOW	YES

Notes: Location is fenced in and locked due to homeless active behind the business causing issues to the structures. Small washout that was reconstructed on the northern side of the basin.

Pictures:









Permanent Control Measures Audit

Project Name: **PCM-20 Flying Horse No. 4 Torino Filing No. 1 Extended Detention Water Quality Facility**

Date: **5/9/2024**

Project Owner: **Flying Horse Development LLC**

HDR Project No: **PCM-20_00004**

Weather Conditions: **65 °F , Sunny**

PCM Document Review

Does the City have the following documents on file, and do the documents appear to be appropriate for the specific PCM: **EXTENDED DETENTION BASIN**

- | | |
|--|-----|
| • Drainage Report (Drainage Letter, etc.) | Yes |
| • PE Certification | Yes |
| • As-Built Plan | Yes |
| • Reference to Appropriate Inspection & Maintenance Plan | Yes |
| • City Final Acceptance Letter | Yes |
| • Does the Report contain appropriate WQ Storage Volume for specific PCM | Yes |

PCM Field Inspection

- | | |
|---|-----|
| • Is the PCM located per the plan? | Yes |
| • Do site grading and constructed conveyance systems appear to direct runoff from areas identified in the drainage Report for treatment by the control measure? | Yes |

Are the following features present based on the type of control measure and installed in accordance with the approved drainage report?

EXTENDED DETENTION BASIN (EDB)	
FOREBAY(S)	YES
MICROPOOL	YES
LOW-FLOW CHANNEL	YES
OUTLET STRUCTURE	YES
EMERGENCY OVERFLOW	YES

Notes: EDB constructed in the correct location and with all the necessary features. Area is a bit overgrown.

Pictures:











Permanent Control Measures Audit

Project Name: **PCM-23 Powerwood Filing No. 2 Cottonwood Creek Drainage Basin**

Date: **5/9/2024**

Project Owner: **Cottonwood Housing Company, LLC**

HDR Project No: **PCM-23_OM00260**

Weather Conditions: **65 °F , Sunny**

PCM Document Review

Does the City have the following documents on file, and do the documents appear to be appropriate for the specific PCM: **EXTENDED DETENTION BASIN**

- | | |
|--|-----|
| • Drainage Report (Drainage Letter, etc.) | Yes |
| • PE Certification | Yes |
| • As-Built Plan | Yes |
| • Reference to Appropriate Inspection & Maintenance Plan | Yes |
| • City Final Acceptance Letter | Yes |
| • Does the Report contain appropriate WQ Storage Volume for specific PCM | Yes |

PCM Field Inspection

- | | |
|---|-----|
| • Is the PCM located per the plan? | Yes |
| • Do site grading and constructed conveyance systems appear to direct runoff from areas identified in the drainage Report for treatment by the control measure? | Yes |

Are the following features present based on the type of control measure and installed in accordance with the approved drainage report?

EXTENDED DETENTION BASIN (EDB)	
FOREBAY(S)	YES
MICROPOOL	YES
LOW-FLOW CHANNEL	YES
OUTLET STRUCTURE	YES
EMERGENCY OVERFLOW	YES

Notes: Two major drainage pipes outlet into this basin. Water level was high when inspected due to recent rainfall.

Pictures:









Permanent Control Measures Audit

Project Name: **PCM-39 Dusty Hills Filing No. 1**

Date: **5/9/2024**

Project Owner: **Dusty Hills Incorporated**

HDR Project No: **PCM-39_OM00309B**

Weather Conditions: **65 °F , Sunny**

PCM Document Review

Does the City have the following documents on file, and do the documents appear to be appropriate for the specific PCM: **SAND FILTER**

- | | |
|--|-----|
| • Drainage Report (Drainage Letter, etc.) | Yes |
| • PE Certification | Yes |
| • As-Built Plan | Yes |
| • Reference to Appropriate Inspection & Maintenance Plan | Yes |
| • City Final Acceptance Letter | Yes |
| • Does the Report contain appropriate WQ Storage Volume for specific PCM | Yes |

PCM Field Inspection

- | | |
|---|-----|
| • Is the PCM located per the plan? | Yes |
| • Do site grading and constructed conveyance systems appear to direct runoff from areas identified in the drainage Report for treatment by the control measure? | Yes |

Are the following features present based on the type of control measure and installed in accordance with the approved drainage report?

BIORETENTION/SAND FILTER BASIN	
INFILTRATION MEDIA (PRESENT BASED ON OBSERVATION)	YES
UNDERDRAIN CONNECTION TO OUTLET STRUCTURE	YES
OUTLET STRUCTURE	N/A
EMERGENCY OVERFLOW	YES

Notes: Sand filter feature had key elements and was constructed in the correct location. Per design, no traditional outlet structure. The underdrain PVC and Cleanout are visible and in good condition. The emergency overflow, outlets to the roadway.

Pictures:





Permanent Control Measures Audit

Project Name: **PCM-44 Lot 1, Staybridge Suites Filing No. 1**

Date: **5/15/2024, 10/18/2024**

Project Owner: **Staybridge Suites**

HDR Project No: **PCM-44_OM00326**

Weather Conditions: **65 °F , Partly Sunny**

PCM Document Review

Does the City have the following documents on file, and do the documents appear to be appropriate for the specific PCM: **SAND FILTER BASIN**

- Drainage Report (Drainage Letter, etc.) **Yes**
- PE Certification **Yes**
- As-Built Plan **Yes**
- Reference to Appropriate Inspection & Maintenance Plan **Yes**
- City Final Acceptance Letter **Yes**
- Does the Report contain appropriate WQ Storage Volume for specific PCM **Yes**

PCM Field Inspection

- Is the PCM located per the plan? **Yes**
- Do site grading and constructed conveyance systems Appear to direct runoff from areas identified in the drainage Report for treatment by the control measure? **Yes**

Are the following features present based on the type of control measure and installed in accordance with the approved drainage report?

BIORETENTION/SAND FILTER BASIN	
INFILTRATION MEDIA (PRESENT BASED ON OBSERVATION)	YES
UNDERDRAIN CONNECTION TO OUTLET STRUCTURE	YES
OUTLET STRUCTURE	YES
EMERGENCY OVERFLOW	YES, TO ROADWAY

Notes: Sand filter constructed in the correct location. Underdrain connection and outlet structure are present. One Underdrain cleanout connection is broken and needs replacement.

10/18/2024 Notes: Trash has been cleaned since original site visit

Pictures:





Photo: 5/15/2024



Updated Photo 10/18/2024





Permanent Control Measures Audit

Project Name: **PCM-62 Lot 1, SAM'S PROPERTIES FILING NO. 1**

Date: **5/15/2024, 10/18/2024**

Project Owner: **REALTY INCOME PROPERTIES 25, LLC**

HDR Project No: **PCM-62_OM00426**

Weather Conditions:

PCM Document Review

Does the City have the following documents on file, and do the documents appear to be appropriate for the specific PCM: **ADS Barracuda Stormwater Separator**

- | | |
|--|-----|
| • Drainage Report (Drainage Letter, etc.) | No |
| • PE Certification | Yes |
| • As-Built Plan | Yes |
| • Reference to Appropriate Inspection & Maintenance Plan | No |
| • City Final Acceptance Letter | Yes |
| • Does the Report contain appropriate WQ Storage Volume for specific PCM | No |

No info in FDR or water quality calcs related to a stormwater separator.

PCM Field Inspection

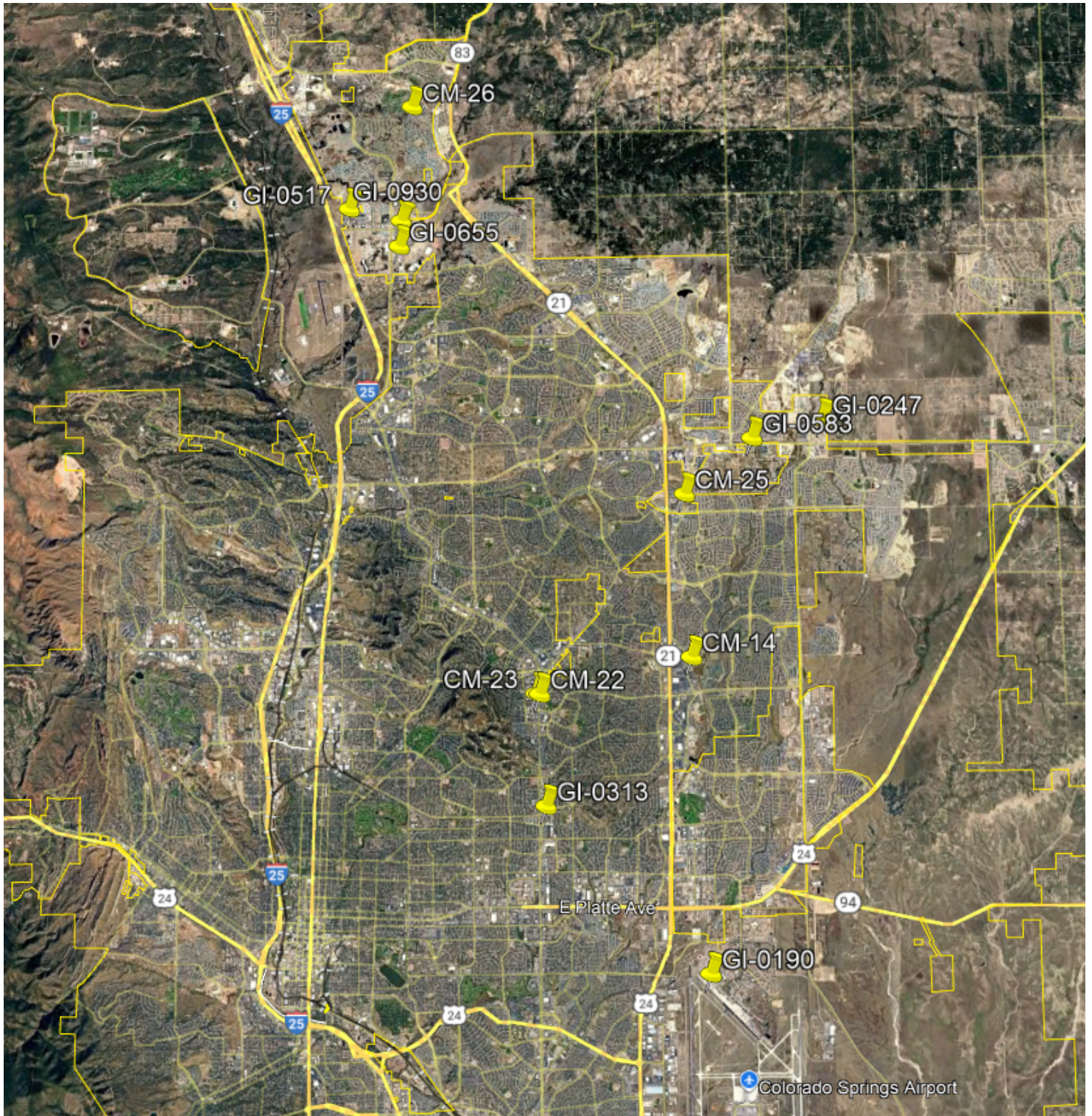
- | | |
|---|-----|
| • Is the PCM located per the plan? | Yes |
| • Do site grading and constructed conveyance systems
Appear to direct runoff from areas identified in the drainage
Report for treatment by the control measure? | Yes |

Notes: 10/18/24: Pulled manhole lid – able to see inside the vault. Field review matches plans for the flow through device.

Pictures:



Appendix D1: CM Location Map



Appendix D2: CM Report Summaries



Credited Measures Audit

Project Name: CM-14 KMX – CO Springs

Date: 5/15/2024

Project Owner: Carmax

Weather Conditions: 70° Sunny

CM Document Review

Does the City have the following documents on file, and do the documents appear to be appropriate for the specific CM:

- Drainage Report (Drainage Letter, etc.) Yes
- As-Built Plan Yes
- Reference to Appropriate Inspection & Maintenance Plan Yes

CM Field Inspection

- Is the CM located per the plan? Yes
- Do site grading and constructed conveyance systems
Appear to direct runoff from areas identified in the drainage
Report for treatment by the control measure? Yes

Are the following features present based on the type of control measure and installed in accordance with the approved drainage report?

BIORETENTION/SAND FILTER BASIN	
INFILTRATION MEDIA (PRESENT BASED ON OBSERVATION)	YES
UNDERDRAIN CONNECTION TO OUTLET STRUCTURE	YES
OUTLET STRUCTURE	YES
EMERGENCY OVERFLOW	YES

Notes:

Labeled as settling pond with underdrain throughout. Outlet structure is present from already constructed drainage system.

Pictures:







Credited Measures Audit

Project Name: CM-22 Proposed 18" RCP Storm Sewer / Bio Retention Ponds

Date: 5/15/2024

Project Owner: The Residence at Village Green

Weather Conditions: 70° Sunny

CM Document Review

Does the City have the following documents on file, and do the documents appear to be appropriate for the specific CM:

- | | |
|--|-----|
| • Drainage Report (Drainage Letter, etc.) | Yes |
| • As-Built Plan | Yes |
| • Reference to Appropriate Inspection & Maintenance Plan | Yes |

CM Field Inspection

- | | |
|---|-----|
| • Is the CM located per the plan? | Yes |
| • Do site grading and constructed conveyance systems
Appear to direct runoff from areas identified in the drainage
Report for treatment by the control measure? | Yes |

Are the following features present based on the type of control measure and installed in accordance with the approved drainage report?

BIORETENTION/SAND FILTER BASIN	
INFILTRATION MEDIA (PRESENT BASED ON OBSERVATION)	YES
UNDERDRAIN CONNECTION TO OUTLET STRUCTURE	YES
OUTLET STRUCTURE	YES
EMERGENCY OVERFLOW	YES

Notes:

Plans labeled as Proposed 18" RCP Storm Sewer Profile, project contains 2 small retention ponds with outlet to proposed storm sewer system.

Pictures:







Credited Measures Audit

Project Name: CM-23 Proposed 18" RCP Storm Sewer / Bio Retention Ponds

Date: 5/15/2024

Project Owner: The Residence at Village Green

HDR Project No: _____

Weather Conditions: 70° Sunny

CM Document Review

Does the City have the following documents on file, and do the documents appear to be appropriate for the specific CM:

- | | |
|--|-----|
| • Drainage Report (Drainage Letter, etc.) | Yes |
| • As-Built Plan | Yes |
| • Reference to Appropriate Inspection & Maintenance Plan | Yes |

CM Field Inspection

- | | |
|---|-----|
| • Is the CM located per the plan? | Yes |
| • Do site grading and constructed conveyance systems
Appear to direct runoff from areas identified in the drainage
Report for treatment by the control measure? | Yes |

Are the following features present based on the type of control measure and installed in accordance with the approved drainage report?

BIORETENTION/SAND FILTER BASIN	
INFILTRATION MEDIA (PRESENT BASED ON OBSERVATION)	YES
UNDERDRAIN CONNECTION TO OUTLET STRUCTURE	YES
OUTLET STRUCTURE	YES
EMERGENCY OVERFLOW	YES

Notes:

Plans labeled as Proposed 18" RCP Storm Sewer Profile, project contains 2 small retention ponds with outlet to proposed storm sewer system.

Pictures:







Credited Measures Audit

Project Name: PCM-25 Lot 1, Tutt Corners Filing No.2 SWQ Rain Garden Revision

Date: 5/15/2024

Project Owner: Starbucks

Weather Conditions: 70° Sunny

CM Document Review

Does the City have the following documents on file, and do the documents appear to be appropriate for the specific CM:

- | | |
|--|-----|
| • Drainage Report (Drainage Letter, etc.) | Yes |
| • As-Built Plan | Yes |
| • Reference to Appropriate Inspection & Maintenance Plan | Yes |

CM Field Inspection

- | | |
|---|-----|
| • Is the CM located per the plan? | Yes |
| • Do site grading and constructed conveyance systems
Appear to direct runoff from areas identified in the drainage
Report for treatment by the control measure? | Yes |

Notes:

Plans labeled as Revision to 15" storm outfall per utility conflict. Revision connected to SWQ rain garden.

Pictures:









Credited Measures Audit

Project Name: CM-26 Flying Horse No.5 Milan: Filling No. 3 Storm Sewer Plan Including Water Quality Facility

Date: 5/27/2024

Project Owner: Classic Development – Flying Horse, LLC

Weather Conditions: 90° Sunny

CM Document Review

Does the City have the following documents on file, and do the documents appear to be appropriate for the specific CM:

- | | |
|--|-----|
| • Drainage Report (Drainage Letter, etc.) | Yes |
| • As-Built Plan | Yes |
| • Reference to Appropriate Inspection & Maintenance Plan | Yes |

CM Field Inspection

- | | |
|---|-----|
| • Is the CM located per the plan? | Yes |
| • Do site grading and constructed conveyance systems
Appear to direct runoff from areas identified in the drainage
Report for treatment by the control measure? | Yes |

Are the following features present based on the type of control measure and installed in accordance with the approved drainage report?

BIORETENTION/SAND FILTER BASIN	
INFILTRATION MEDIA (PRESENT BASED ON OBSERVATION)	YES
UNDERDRAIN CONNECTION TO OUTLET STRUCTURE	YES
OUTLET STRUCTURE	YES
EMERGENCY OVERFLOW	YES

Notes:

Plans labeled as Proposed 18" RCP Storm Sewer Profile, project contains 2 small retention ponds with outlet to proposed storm sewer system.

Pictures:





