FD3



CONSTRUCTION AND PERMANENT CONTROL MEASURE INDEPENDENT INSPECTION AND ASSESSMENT REPORT

City of Colorado Springs, Colorado

October 23, 2024

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1 Introduction

HDR was contracted by the Stormwater Enterprise of City of Colorado Springs (City) in September 2021 to perform independent third-party audits for the City's approvals of Grading and Erosion Control (GEC) Plans, City Stormwater Management Plan (CSWMP) Reports, constructed Permanent Control Measures (PCM), and Credited Measures (CM).

This report covers Year 3 audit of the above files that were approved in the 2023 calendar year.

The City provided HDR a numbered list of each of the City's approved plans, reports, and control measures. HDR randomly selected 10% of each type of project for GEC and CSWMP, and 10% of CMs approved in 2023, and 10% of PCMs constructed 2023.

These selections matched by percent the area within the City (Capital Project, Central, North, and South), and type of facility (Commercial, Industrial, Mixed Use/Other, Single Family Residential, Public Project). The City's tracking code was provided in the first round of selections, so HDR team didn't know which project was being selected. One facility that HDR worked on this year was selected and was not audited by HDR.

The City then delivered copies of approved plans, reports, and control measures to HDR's team for this audit.

2 Grading and Erosion Control (GEC) Audit

2.1 Plan Review Summary

Fourteen (14) GEC were independently reviewed by HDR utilizing GEC review audit checklist provided in the Workplan. From HDR's independent third-party review of these plans, no plans were found to be non-compliant. In the random GEC selection that HDR prepared this year, one of HDR's approved plans was selected to audit. This plan was reviewed by Jacobs. This plan was also found to be compliant.

The full list of reviewed plans is found in Appendix A. The list of plans review is in Appendix A1, the checklists are in Appendix A2, and the plan review performed by Jacobs can be found in Appendix A3.

Table 2.1 is the GEC checklist items that are missing from the plans. The missing items are all tier 2, so all plans are compliant.

Table 2-1: GEC Plan Items

Number	Title	Missing Checklist Item
G-30	Cheyenne Blvd between Evans Ave and Cresta Rd	Tier 2 – missing the FEMA floodplain for Cheyenne Creek that is within the project limits.
G-36	SWC Carefree Circle and Pony Tracks Drive	Tier 2 - Utility easements shown, but utility lines are not on plans.

Table 2-1: GEC Plan Items

Number	Title	Missing Checklist Item
G-104	Revel III at Wolf Ranch	Tier 2 – The Grading and Erosion Control plans are at a scale of 1" = 60', which is above the 1" = 50' maximum.

3 City Stormwater Management Plan (CSWMP) Audit

3.1 Report Review Summary

Thirteen (13) CSWMP were independently reviewed by HDR utilizing the CSWMP review audit checklist. No plans were found to be non-compliant. All checklist items were found in all 13 reports.

The full list of reviewed CSWMP plans is found in Appendix B1, and the checklists are in Appendix B2.

4 Permanent Control Measure (PCM) Audit

4.1 PCM Review Summary

Seven (7) PCMs were independently reviewed by HDR utilizing the PCM review audit checklist from the Workplan. The PCMs selected consisted of one bioretention basin, three extended detention basins, 2 sand filters, and one underground flow-through based on similar percentages of measures constructed within the City in 2023.

From the audit, one (1) constructed PCM was found to be out of compliance. Table 4.1 below is a summary of the ponds with identified issues.

HDR created a location map of the six PCM audit locations within the City. Refer to Appendix C1 for the location of PCM in-field audits, and PCM Review Forms can be found in Appendix C2.

Table 4-1: PCM Document Review Notes Summary

Number	Title	Issues
PCM-44	Sand Filter; Staybridge Suites Fil 1	Field Maintenance Issue: PVC Cleanout is broken and needs repair. The maintenance plan is compliant as its been less than 1-year since the reported underdrain cleanout.
PCM-62	Underground Flow-Through Device; Lot 1, Sam's Properties Filing No. 1	Document Review: Drainage Report has no information about the Underground Device. Missing IM Plan, and water quality calculations.



5 Credited Measure (CM) Audit

5.1 CM Review Summary

Thirteen (13) CM were independently reviewed by HDR utilizing CM review audit checklist from the Workplan. The CMs selected consisted of five (5) category 2 (Existing Measures Subject to City's Process for Verification of a Functioning PCM Built Prior to 7/31/2018) and eight (8) category 6 (New Development or Redevelopment Infiltration – Development). Category 2 audits consisted of document review and field review. Category 6 audits consisted of document review only. All category 2 CM were found to be compliant. All category 6 CM were also found to be compliant. Refer to Appendix D1 for the location of CM audits and CM Report Summaries can be found in Appendix D2.

6 Correspondence

The following list of correspondence with City during HDR's audit review:

- January 26, 2024 City shared list of accepted PCMs in 2023
- January 31 and February 1, 2024 Communication between HDR and City about review schedule
- February 1, 2024 HDR provided randomized selection for audit of PCM
- February 15, 2024 City shared list of 2023 approved GEC and CSWMP codes for selection
- February 19, 2024 HDR provided randomized selection for GEC and CSWMP
- February 26, 2024 HDR sent City reminder about GEC and CSWMP selection.
- February 28, 2024 Communication between City and HDR providing PCM selection list and files
- February 29, 2024 City provided GEC and CSWMPS. HDR noted that GEC plan G-2 was an HDR project.
- March 1 and 21, 2024 Communication from HDR providing KMZ of PCM locations and clarifying the location of PCM-44
- April 15, 2024 HDR provided progress report to City.
- April 16, 2024 City provided list of CMs for selection
- April 16 -18,2024 Communication between City and HDR with clarification about PCM-44 location
- April 17, 2024 HDR provided randomized selection of CMs
- April 17, 2024 City provided documentation for category 6 CMs
- April 23, 2024 City provided documentation for category 2 CMs

- May 15, 2024 Progress report provided from HDR to city. City confirmed report was received.
- June 26, 2024 Communication between HDR and City clarifying locations of CM-22 and CM-23
- June 28, 2024 City delivered the audit report for the HDR selected plan

During the audit, two progress reports on the status of the audits were provided to the City in April and May 2024.

Additional documentation or copies of the emails listed above can be provided by request.

Summary of Audit Findings 7

From the randomly selected projects for third party review, HDR found no compliance issues with GEC, CSWMP, and CM. One PCM project was found to be non-compliant, which was below the threshold of non-compliance set in the EPA Consent Decree.

8 References

City of Colorado Springs; Stormwater Enterprise Stormwater Construction Manual 2020

City of Colorado Springs; Stormwater Enterprise 2021 Audit Work Plan



Appendix A1: GEC Plan Selection

Table A-1: Selected GEC Plans reviewed									
GEC Number	Plan Title	District	Project Type						
G-2	Circle Drive Bridges (HDR Project, reviewed by Jacobs)	Capital Project	Public Project						
G-13	El Paso Blvd Bridge Replacement	Capital Project	Public Project						
G-30	Cheyenne Blvd between Evans Ave and Cresta Rd	Capital Project	Public Project						
G-36	SWC Carefree Circle and Pony Tracks Drive	Central	Commercial						
G-46	D.E.C. Subdivision Filing No. 2, Lot 3	Central	Commercial						
G-54	Lot 1, The Sands Industrial Park Filing No. 1	Central	Industrial						
G-59	Patriot Park Subdivision Filing No. 1	Central	Mixed Use / Other						
G-69	Summit Peak View Behavioral Health Addition	North	Commercial						
G-79	Old Ranch Station Fil. No. 4	North	Commercial						
G-97	Wolf Ranch Detention Basin F18 and F19	North	Mixed Use / Other						
G-104	Revel III at Wolf Ranch	North	Single Family Residential						
G-116	Lot 3, Westgate at Powers, Filing No. 1	South	Commercial						
G-122	Lot 2 of East Fountain Subdivision Filing No. 1	South	Commercial						
G-137	COSA Filing 1E Integration Loop and Peak Innovation Pkwy	South	Mixed Use / Other						
G-144	Centennial North Subdivision	South	Single Family Residential						



Appendix A2: GEC Checklists

Audit Work Plan GEC Review Audit

2.3.2 GEC Review Audit Determination of Noncompliance

If the audited document is in general conformance with the SCM, no Tier 1 checklist items are missing, and no more than two of the Tier 2 checklist items are missing, the audit is passed.

2.3.3 GEC Plan Checklist

The GEC Plan shall include the following as a minimum. Clarification details are provided below each checklist item as necessary. Some items may not apply to a specific project, in that case, the checklist items are not required.

	r) <u> </u>		_	2	<u>Tier</u>
 Auditors will not check unit prices except for large errors Names do not need to match exactly, as long as it's clear what the item is 	installation and maintenance until final stabilization is achieved. A minimum of 40% of the total cost shall be added to the cost estimate for maintenance. A unit price list may be obtained from the Stormwater Enterprise. Cost estimates are not required for capital projects.		name. • Auditors will not be cross-checking the Final Subdivision Plat.	2. Subdivision / Project name – The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project	1. General vicinity map – Show the relationship of the site to existing and planned roadways, jurisdictional boundaries, major creeks, and streams.	Checklist Item

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11. Existing topography at one or two foot contour intervals. The map should extend a minimum of 10-feet beyond the property line for private development projects or beyond the project's land disturbance limits, whichever is larger.	
 Limits of construction, construction site boundary, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	
10. Construction site boundaries – delineation of construction site boundaries.	2
 Limits of disturbance, areas of land disturbance, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	
 Areas of land disturbance – total area of the site where any construction activity is expected to result in land disturbance of the ground surface. 	_
 Property boundary, property line, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	
8.) Property lines for the site on which the work will be performed.	<u> </u>
7. Plan view—at a scale of 1-inch to 20-feet up to 1-inch to 50-feet. $1'' = 20'$	2
6. North arrow and bar scale	2
Signature blocks See SCM Appendix D. Contractor signature is not required prior to Signatures are shown on page 9 GEC Plan approval. CSU/City PM and SWENT Manager are the two required for capital projects Signatures blocks are reviewed for general conformance. Only signature blocks required by the SCM need to be included (for example, contractor signature is not needed on GEC Plan, even if the block is included).	1

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Audit Work Plan GEC Review Audit

17. Location of existing or proposed water courses—to include, but not limited to, groundwater springs, streams, wetlands, or other surface waters, including areas where the COR400000 requires that pre-existing vegetation be maintained within 50 feet of a receiving water.	_
 16. Location of no-build areas if indicated in a geologic hazard study. A note is not needed if not applicable. 	2
15. Location of soil stockpiles — Areas designated for topsoil and subsoil storage must be shown on the plan, or a note must be included indicating that stockpile location will be determined by the contractor. Stockpile locations to be determined by contractor must not result in additional land disturbance.	_
 Adjacent areas not affected by construction can be labeled as not being affected. 	
14. Adjacent existing and proposed development affected by the construction. Labels must include ownership information and address or tax schedule numbers.	1
 Retaining wall elevations (top and bottom of wall) should be called out at least once per wall. 	
13. Location of any proposed features and structures on the site, including paved areas, retaining walls (including top and bottom of wall elevations), etc.	2
 Elevations and slope labels are optional. Proposed topography must extend to the disturbance limits, unless disturbed areas will remain at existing grade. 	
12. Proposed topography at one or two foot contour intervals. The map should show elevations and extent and the slope of all proposed grading.	1
 The existing topography must extend at least to the project's disturbance limits. Extending beyond disturbance areas is optional. 	

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21. Location of staging areas – Staging area must be shown on the plan, or a note must be included indicating that staging area location will be determined by the contractor.	
 Concrete washouts must be shown at least 50' away from State Waters. Plans do not need to specify lined vs. unlined – that will be determined in the field. 	
20. Location of concrete washout areas— Areas designated for concrete washout must be shown on the plan, or a note must be included indicating that concrete washout location will be determined by the contractor.	_1
 PCMs should be labeled with the type of PCM (EDB, sand filter, etc.). Details do not need to be included in the GEC Plan, as they are part of the PCM Plan. 	
 CCM abbreviations must match the CCM detail sheets, or be abbreviated in a clear manner if using an alternative control measure without an abbreviation on the detail sheet. CCM abbreviations should be shown in the legend. IP alone is sufficient – abbreviations on plan do not need to specify IP-2 (etc.). 	
19. Location of Construction Control Measures and Permanent Control Measures to be constructed as a part of the proposed work. Construction Control Measures must be indicated using clear symbology and labels including abbreviations that match the Construction Control Measure detail sheets.	_,
 Drainage features include storm conveyance infrastructure larger than 12" (inlets, pipes, manholes, outfalls). 	
18. Location of existing or proposed drainage features on and adjacent to the site.	<u> </u>
 Ditches and small unnamed tributaries do not need to be labeled. If there is a question as to whether a water course is named or not, the naming is determined based on the SpringsView basemap layer. 	

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Audit Work Plan GEC Review Audit

Utility ea	If utilities line place required	2 27. Existing utility locations and ead dedicated easements is restricte owner for additional information.	A note is If a site is	2 26. <u>Boundaries of the Garage</u> for capital projects	A note is	25. Boundaries of the City Str shown for capital projects	2 24. Boundaries of the A note is	1 23. Location of any a	The Lance reference	
Utility easements should be labeled.	If utilities are shown, reviewer is not responsible for checking individual utility line placement. If standard utility line types are used, utility line types are not required to be shown in legend.	locations and easements - grading over existing utilities or within sments is restricted. Contact Colorado Springs Utilities or easement tional information.	A note is not needed if not applicable. N/A If a site is completely in the Hillside Overlay, a note stating that is sufficient.	Boundaries of the City Hillside Overlay, if applicable. Overlays do not need to be shown for capital projects.	A note is not needed if not applicable. N/A	Boundaries of the City Streamside Overlay, if applicable. Overlays do not need to be shown for capital projects.	Boundaries of the 100-yr floodplain, if applicable. • A note is not needed if not applicable. N/A	Location of any asphalt, concrete batch plants, and masonry mix stations, if applicable. • A note is not needed if not applicable. N/A	The Landscaping Plan does not need to be specifically named, as long as the reference is present.	vegetation will not be shown.

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	1			-	_			<u> </u>)
 Arrows should generally depict the direction of runoff – individual arrows can be slightly off if the majority of arrows are pointing in the correct direction. 	33. Flow arrows that depict stormwater flow directions. Arrows do not need to be located within the limits of the proposed grading if visibility is compromised by their inclusion.	32. Receiving Waters - Name of closest named receiving waters.	Expected date on which the final stabilization will be completed. Can be combined with completion time period if both will occur at the same time.	Time periods can specify month – specific date is not required Starting and completion time periods can be included on the same line		 SCM details, additional COS details on the website, MHFD details, and approved alternative details on the City's website are all acceptable If a detail is not included, a reference to the details on the City's website is required 	 Additional CCM details can be included in the GEC Plan, but are not required. 	29. Detail drawings of Construction Control Measures including installation and maintenance requirements. Details must match those provided in SCM Appendix E, or be approved through the alternative Construction Control Measure approval process.	A note is not needed if not applicable.	

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GEC Review Audit Audit Work Plan

5/1/2024

34. Locations of all non-structural Control Measures. Nonstructural controls (like street sweeping) without a specific location may be described using notes.

This item is passed if at least one nonstructural control measure is identified.

Stormwater Enterprise City of Colorado Springs



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Standard GEC Plan Notes Appendix C

STANDARD GECPLAN NOTES

The nineteen (19) plan notes below shall be included on the GEC Plan

- No clearing, grading, excavation, or other land disturbing activities shall be allowed (except for work directly related to the installation of Initial Control Measures) until a City GEC Permit has been issued.
- 5 All land disturbing activities must be performed in accordance with and the approved GEC Plan and
- ,w Initial Control Measures shall be installed and inspected prior to any land disturbance activities taking place. Call City Stormwater Inspections, 385-5980, at least 48 hours prior to construction to schedule an initial inspection and obtain full permit approval. An initial site inspection will not be scheduled until a City GEC Permit has been "conditionally approved."
- Individuals shall comply with the "Colorado Water Quality Control Act" (Title 25, Article 8, CRS) and the event of conflicts between these requirements and water quality control laws, rules, or regulations of other Federal or State agencies, the more restrictive laws, rules, or regulations shall apply. in addition to the requirements included in the City's MS4 Permit, Stormwater Construction Manual. In the "Clean Water Act" (33 USC 1344), including regulations promulgated and certifications or permits issued,
- Stormwater discharges from construction sites shall not cause or threaten to cause pollution, contamination, or degradation of State Waters.
- All Construction Control Measures shall be maintained until permanent stabilization measures are implemented. Temporary Construction Control Measures must be removed prior to permit closeout.
- Concrete wash water shall not be discharged to or allowed to runoff to State Waters or any surface or subsurface storm drainage system or facilities
- Building, construction, excavation, or other waste materials shall not be temporarily placed or stored in the Control Measures may be required by the GEC Inspector if deemed necessary based on specific conditions street, alley, or other public way, unless in accordance with an approved Traffic Control Plan. Construction and circumstances (e.g., estimated time of exposure, season of the year, etc.)
- 9 All wastes composed of building materials must be removed from the construction site for disposal in accordance with local and state regulatory requirements. No building material wastes or unused building materials shall be buried, dumped, or discharged at the site.

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Appendix C Standard GEC Plan Notes

- 10. The permittee shall be responsible for the removal of all construction debris, dirt, trash, rock, sediment, and sand that may accumulate in the storm sewer or other drainage conveyance system as a result of construction activities.
- 11. The quantity of materials stored on the project site shall be limited, as much as practical, to that quantity required to perform the work in an orderly sequence. All materials stored on-site shall be stored in a neat, orderly manner, in their original containers, with original manufacturer's labels. Materials shall not be stored in a location where they may be carried by stormwater runoff into the storm sewer system at any time.
- 12. Spill prevention and containment measures shall be used at all storage, equipment fueling, and equipment servicing areas so as to contain all spills and prevent any spilled material from entering the MS4, including any surface or subsurface storm drainage system or facility. Bulk storage structures for petroleum products and other chemicals shall have secondary containment or equivalent adequate protection. All spills shall be cleaned up immediately after discovery, or contained until appropriate cleanup methods can be employed. Manufacturer's recommended methods for spill cleanup shall be followed, along with proper disposal methods.
- 13. Sediment (mud and dirt) transported onto a public road, regardless of the size of the site, shall be cleaned as soon as possible after discovery.
- 14. No chemicals are to be added to the discharge unless permission for the use of a specific chemical is granted by the State. In granting the use of such chemicals, special conditions and monitoring may be required.
- 5. Control Measures for all slopes, channels, ditches, or any disturbed land area shall be completed within fourteen (14) calendar days after final grading or final land disturbance has been completed. Disturbed areas which are not at final grade but will remain dormant for longer than fourteen (14) days shall be roughened, mulched, tackified, or stabilized with tarps within fourteen (14) days after interim grading. An area that is going to remain in an interim state for more than sixty (60) days shall also be seeded, unless an alternative stabilization measure is accepted at the inspector's discretion. All temporary Construction Control Measures shall be maintained until final stabilization is achieved.
- 6. The GEC Plan will be subject to re-review and re-acceptance by the Stormwater Enterprise should any of the following occur: grading does not commence within twelve (12) months of the City's acceptance of the plan, the construction site is idle for twelve (12) consecutive months, a change in property ownership occurs, the planned development changes, or any other major modifications are proposed as defined in the Stormwater Construction Manual.

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Appendix C Standard GEC Plan Notes

- 17. It is not permissible for any person to modify the grade of the earth on any utility easement or utility right-of-way without written approval from the utility owner. City acceptance of the GEC Plan and CSWMP does not satisfy this requirement. The plan shall not increase or divert water towards utility facilities. Any changes to existing utility facilities to accommodate the plan must be approved by the affected utility owner prior to implementing the plan. The cost to relocate or protect existing utilities or to provide interim access shall be at the applicant's expense.
- 18. Applicant represents and warrants that they have the legal authority to grade and/or construct improvements on adjacent property. The City has not reviewed the developer's authority to modify adjacent property. An approved GEC Permit does not provide approval for the Applicant to perform work on adjacent property.

Additional notes may be required by the review engineer. For example, the following note is required for all development projects, but is normally not required for capital projects:

"All utility installations within the limits of disturbance shown on this plan are covered under this plan. Locations of utilities within the limits of disturbance may be modified after plan approval as a field change. Utility installations related to the private development that extend beyond the limits of disturbance shown on this plan are considered to be part of the larger development, and therefore require a plan modification or separate plan for the additional disturbance area."

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Audit Work Plan GEC Review Audit

2.3.2 GEC Review Audit Determination of Noncompliance

If the audited document is in general conformance with the SCM, no Tier 1 checklist items are missing, and no more than two of the Tier 2 checklist items are missing, the audit is passed.

2.3.3 GEC Plan Checklist

The GEC Plan shall include the following as a minimum. Clarification details are provided below each checklist item as necessary. Some items may not apply to a specific project, in that case, the checklist items are not required.

	r) <u> </u>		_	2	<u>Tier</u>
 Auditors will not check unit prices except for large errors Names do not need to match exactly, as long as it's clear what the item is 	installation and maintenance until final stabilization is achieved. A minimum of 40% of the total cost shall be added to the cost estimate for maintenance. A unit price list may be obtained from the Stormwater Enterprise. Cost estimates are not required for capital projects.		name. • Auditors will not be cross-checking the Final Subdivision Plat.	2. Subdivision / Project name – The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project	1. General vicinity map – Show the relationship of the site to existing and planned roadways, jurisdictional boundaries, major creeks, and streams.	Checklist Item

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Audit Work Plan GEC Review Audit

11. Existing topography at one or two foot contour intervals. The map should extend a minimum of 10-feet beyond the property line for private development projects or beyond the project's land disturbance limits, whichever is larger.	
 Construction site boundaries – delineation of construction site boundaries. Limits of construction, construction site boundary, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	2
 9. Areas of land disturbance – total area of the site where any construction activity is expected to result in land disturbance of the ground surface. • Limits of disturbance, areas of land disturbance, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	1
Property lines for the site on which the work will be performed. Property boundary, property line, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.	_
7. Plan view – at a scale of 1-inch to 20-feet up to 1-inch to 50-feet. $1'' = 40'$	2
6.) North arrow and bar scale	2
Signature blocks See SCM Appendix D. Contractor signature is not required prior to GEC Plan approval. CSU/City PM and SWENT Manager are the two required for capital projects Signatures blocks are reviewed for general conformance. Only signature blocks required by the SCM need to be included (for example, contractor signature is not needed on GEC Plan, even if the block is included).	-1

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Audit Work Plan GEC Review Audit

17. Location of existing or proposed water courses—to include, but not limited to, groundwater springs, streams, wetlands, or other surface waters, including areas where the COR400000 requires that pre-existing vegetation be maintained within 50 feet of a receiving water.	7
 16. Location of no-build areas if indicated in a geologic hazard study. N/A A note is not needed if not applicable. 	2
15. Location of soil stockpiles – Areas designated for topsoil and subsoil storage must be shown on the plan, or a note must be included indicating that stockpile location will be determined by the contractor. Stockpile locations to be determined by contractor must not result in additional land disturbance.	1
 14. Adjacent existing and proposed development affected by the construction. Labels must include ownership information and address or tax schedule numbers. Adjacent areas not affected by construction can be labeled as not being affected. 	
 13. Location of any proposed features and structures on the site, including paved areas, retaining walls (including top and bottom of wall elevations), etc. Retaining wall elevations (top and bottom of wall) should be called out at least once per wall. 	2
Proposed topography at one or two foot contour intervals. The map should show elevations and extent and the slope of all proposed grading. Elevations and slope labels are optional. Proposed topography must extend to the disturbance limits, unless disturbed areas will remain at existing grade.	1
 The existing topography must extend at least to the project's disturbance limits. Extending beyond disturbance areas is optional. 	

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Audit Work Plan September 2021

G-30 GEC Audit N. Stauch 5/2/2024

Audit Work Plan GEC Review Audit

21. Location of staging areas — Staging area must be shown on the plan, or a note must be included indicating that staging area location will be determined by the contractor.	7
 Concrete washouts must be shown at least 50' away from State Waters. Plans do not need to specify lined vs. unlined – that will be determined in the field. 	
20. Location of concrete washout areas — Areas designated for concrete washout must be shown on the plan, or a note must be included indicating that concrete washout location will be determined by the contractor.	_
 PCMs should be labeled with the type of PCM (EDB, sand filter, etc.). Details do not need to be included in the GEC Plan, as they are part of the PCM Plan. 	
 CCM abbreviations must match the CCM detail sheets, or be abbreviated in a clear manner if using an alternative control measure without an abbreviation on the detail sheet. CCM abbreviations should be shown in the legend. IP alone is sufficient – abbreviations on plan do not need to specify IP-2 (etc.). 	
19. Location of Construction Control Measures and Permanent Control Measures to be constructed as a part of the proposed work. Construction Control Measures must be indicated using clear symbology and labels including abbreviations that match the Construction Control Measure detail sheets.	_
 18. Location of existing or proposed drainage features on and adjacent to the site. Drainage features include storm conveyance infrastructure larger than 12" (inlets, pipes, manholes, outfalls). 	
 Ditches and small unnamed tributaries do not need to be labeled. If there is a question as to whether a water course is named or not, the naming is determined based on the SpringsView basemap layer. 	

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Audit Work Plan GEC Review Audit

	Utility easements should be labeled.	
	 If utilities are shown, reviewer is not responsible for checking individual utility line placement. If standard utility line types are used, utility line types are not required to be shown in legend. 	
	27. Existing utility locations and easements - grading over existing utilities or within dedicated easements is restricted. Contact Colorado Springs Utilities or easement owner for additional information.	2
	 If a site is completely in the Hillside Overlay, a note stating that is sufficient. 	
	 A note is not needed if not applicable. N/A	
	26. Boundaries of the City Hillside Overlay if applicable. Overlays do not need to be shown for capital projects.	2
	A note is not needed if not applicable. N/A	
	25. Boundaries of the City Streamside Overlay, if applicable. Overlays do not need to be shown for capital projects.	2
e Creek. two plan	24. Boundaries of the 100-yr floodplain, if applicable. Should at least be shown in first two plan A note is not needed if not applicable. Sheets in initial and final	2
	A note is not needed if not applicable. N/A	
	23. Location of any asphalt, concrete batch plants, and masonry mix stations, if applicable.	_
	 The Landscaping Plan does not need to be specifically named, as long as the reference is present. 	
	22. <u>Vegetation</u> – existing vegetation to remain and proposed seeding areas. A note referencing the Landscaping Plan must be included on the GEC Plan if proposed vegetation will not be shown.	-1

City of Colorado Springs Stormwater Enterprise



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Audit Work Plan GEC Review Audit

2	28. Locations of preservation easements if applicable.
	 A note is not needed if not applicable.
_	29. Detail drawings of Construction Control Measures including installation and maintenance requirements. Details must match those provided in SCM Appendix E, or be approved through the alternative Construction Control Measure approval process.
	 Additional CCM details can be included in the GEC Plan, but are not required.
	 SCM details, additional COS details on the website, MHFD details, and approved alternative details on the City's website are all acceptable
	 If a detail is not included, a reference to the details on the City's website is required
1	30. Anticipated starting and completion time period of land disturbance.
	 Time periods can specify month – specific date is not required
	 Starting and completion time periods can be included on the same line
1	31. Expected date on which the final stabilization will be completed,
	 Can be combined with completion time period if both will occur at the same time.
_	32. Receiving Waters - Name of closest named receiving waters.
_	33. Flow arrows that depict stormwater flow directions. Arrows do not need to be located within the limits of the proposed grading if visibility is compromised by their inclusion.
	 Arrows should generally depict the direction of runoff – individual arrows can be slightly off if the majority of arrows are pointing in the correct direction.

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

- 34. Locations of all non-structural Control Measures. Nonstructural controls (like street sweeping) without a specific location may be described using notes.
- This item is passed if at least one nonstructural control measure is identified.

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

2.3.2 GEC Review Audit Determination of Noncompliance

If the audited document is in general conformance with the SCM, no Tier 1 checklist items are missing, and no more than two of the Tier 2 checklist items are missing, the audit is passed.

2.3.3 GEC Plan Checklist

The GEC Plan shall include the following as a minimum. Clarification details are provided below each checklist item as necessary. Some items may not apply to a specific project, in that case, the checklist items are not required.

	2	1		1	2	<u>Tier</u>	
 Auditors will not check unit prices except for large errors Names do not need to match exactly, as long as it's clear what the item is 	4. Cost estimate of the Construction Control Measures including seeding and all installation and maintenance until final stabilization is achieved. A minimum of 40% of the total cost shall be added to the cost estimate for maintenance. A unit price list may be obtained from the Stormwater Enterprise. Cost estimates are not required for capital projects.	3.) Standard GEC Plan notes – See SCM Appendix C.	 Auditors will not be cross-checking the Final Subdivision Plat. 	 Subdivision / Project name - The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. 	1. General vicinity map – Show the relationship of the site to existing and planned roadways, jurisdictional boundaries, major creeks, and streams.	Checklist Item	

City of Colorado Springs Stormwater Enterprise



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Audit Work Plan GEC Review Audit

1 11. Existing minimu beyond	2 10. <u>Constn</u>	1 9. Areas expect	8. <u>Proper</u>	2 7. Plan vi	<u> </u>
Existing topography at one or two foot contour intervals. The map should extend a minimum of 10-feet beyond the property line for private development projects or beyond the project's land disturbance limits, whichever is larger.	Construction site boundaries – delineation of construction site boundaries. • Limits of construction, construction site boundary, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.	Areas of land disturbance – total area of the site where any construction activity is expected to result in land disturbance of the ground surface. • Limits of disturbance, areas of land disturbance, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.	Property lines for the site on which the work will be performed. • Property boundary, property line, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.	Plan view – at a scale of 1-inch to 20-feet up to 1-inch to 50-feet. 1" = 20'	Signatures blocks are reviewed for general conformance. Only signature blocks required by the SCM need to be included (for example, contractor signature is not needed on GEC Plan, even if the block is included).

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Audit Work Plan GEC Review Audit

17. Location of existing or proposed water courses—to include, but not limited to, groundwater springs, streams, wetlands, or other surface waters, including areas where the COR400000 requires that pre-existing vegetation be maintained within 50 feet of a receiving water.	-1
 16. Location of no-build areas if indicated in a geologic hazard study. A note is not needed if not applicable. 	2
15. Location of soil stockpiles — Areas designated for topsoil and subsoil storage must be shown on the plan, or a note must be included indicating that stockpile location will be determined by the contractor. Stockpile locations to be determined by contractor must not result in additional land disturbance.	_
 14. Adjacent existing and proposed development affected by the construction. Labels must include ownership information and address or tax schedule numbers. Adjacent areas not affected by construction can be labeled as not being affected. 	_
(13. Location of any proposed features and structures on the site, including paved areas, retaining walls (including top and bottom of wall elevations), etc. Retaining wall elevations (top and bottom of wall) should be called out at least once per wall.	2
12. Proposed topography at one or two foot contour intervals. The map should show elevations and extent and the slope of all proposed grading. • Elevations and slope labels are optional. Proposed topography must extend to the disturbance limits, unless disturbed areas will remain at existing grade.	1
The existing topography must extend at least to the project's disturbance limits. Extending beyond disturbance areas is optional.	

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Audit Work Plan GEC Review Audit

21. Location of staging areas — Staging area must be shown on the plan, or a note must be included indicating that staging area location will be determined by the contractor.	
 Concrete washouts must be shown at least 50' away from State Waters. Plans do not need to specify lined vs. unlined – that will be determined in the field. 	
20. Location of concrete washout areas — Areas designated for concrete washout must be shown on the plan, or a note must be included indicating that concrete washout location will be determined by the contractor.	_
 PCMs should be labeled with the type of PCM (EDB, sand filter, etc.). Details do not need to be included in the GEC Plan, as they are part of the PCM Plan. 	
 CCM abbreviations must match the CCM detail sheets, or be abbreviated in a clear manner if using an alternative control measure without an abbreviation on the detail sheet. CCM abbreviations should be shown in the legend. IP alone is sufficient – abbreviations on plan do not need to specify IP-2 (etc.). 	
19. Location of Construction Control Measures and Permanent Control Measures to be constructed as a part of the proposed work. Construction Control Measures must be indicated using clear symbology and labels including abbreviations that match the Construction Control Measure detail sheets.	_
 Drainage features include storm conveyance infrastructure larger than 12" (inlets, pipes, manholes, outfalls). 	
18. Location of existing or proposed drainage features on and adjacent to the site.	<u> </u>
 Ditches and small unnamed tributaries do not need to be labeled. If there is a question as to whether a water course is named or not, the naming is determined based on the SpringsView basemap layer. 	

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Audit Work Plan GEC Review Audit

 If utilities are shown, reviewer is not responsible for checking individual utility line placement. If standard utility line types are used, utility line types are not required to be shown in legend. Utility easements should be labeled. 	
27. Existing utility locations and easements - grading over existing utilities or within dedicated easements is restricted. Contact Colorado Springs Utilities or easement owner for additional information.	2
 A note is not needed if not applicable. If a site is completely in the Hillside Overlay, a note stating that is sufficient. 	
26. Boundaries of the City Hillside Overlay if applicable. Overlays do not need to be shown for capital projects.	2
 25. Boundaries of the City Streamside Overlay. if applicable. Overlays do not need to be shown for capital projects. A note is not needed if not applicable. 	2
 24. Boundaries of the 100-yr floodplain, if applicable. A note is not needed if not applicable. 	2
 23. Location of any asphalt, concrete batch plants, and masonry mix stations, if applicable. A note is not needed if not applicable. 	1
 referencing the calascaping rian must be included on the SEC rian in proposed vegetation will not be shown. The Landscaping Plan does not need to be specifically named, as long as the reference is present. 	
22. <u>Vegetation</u> – existing vegetation to remain and proposed seeding areas. A note	_

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Audit Work Plan GEC Review Audit

	 Arrows should generally depict the direction of runoff – individual arrows can be slightly off if the majority of arrows are pointing in the correct direction. 		
	33. Flow arrows that depict stormwater flow directions. Arrows do not need to be located within the limits of the proposed grading if visibility is compromised by their inclusion.	1	
	32. Receiving Waters - Name of closest named receiving waters.	_	
month	Quarters used instead of months Can be combined with completion time period if both will occur at the same time. Quarters used instead of months Output Description time period if both will occur at the same time.	_	I
	Starting and completion time periods can be included on the same line		
	 30. Anticipated starting and completion time period of land disturbance. Time periods can specify month – specific date is not required 	1	
	 If a detail is not included, a reference to the details on the City's website is required 		
	SCM details, additional COS details on the website, MHFD details, and approved		
	 Additional CCM details can be included in the GEC Plan, but are not required. 		
	29. Detail drawings of Construction Control Measures including installation and maintenance requirements. Details must match those provided in SCM Appendix E, or be approved through the alternative Construction Control Measure approval process.		
	 A note is not needed if not applicable. 		
	28. Locations of preservation easements, if applicable.	2	
			7

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Audit Work Plan GEC Review Audit

- 34. Locations of all non-structural Control Measures. Nonstructural controls (like street sweeping) without a specific location may be described using notes.
- This item is passed if at least one nonstructural control measure is identified.

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

2.3.2 GEC Review Audit Determination of Noncompliance

If the audited document is in general conformance with the SCM, no Tier 1 checklist items are missing, and no more than two of the Tier 2 checklist items are missing, the audit is passed.

2.3.3 GEC Plan Checklist

The GEC Plan shall include the following as a minimum. Clarification details are provided below each checklist item as necessary. Some items may not apply to a specific project, in that case, the checklist items are not required.

	N	_		-	2	<u>Tier</u>
 Auditors will not check unit prices except for large errors Names do not need to match exactly, as long as it's clear what the item is 	4. Cost estimate of the Construction Control Measures including seeding and all installation and maintenance until final stabilization is achieved. A minimum of 40% of the total cost shall be added to the cost estimate for maintenance. A unit price list may be obtained from the Stormwater Enterprise. Cost estimates are not required for capital projects.	3. Standard GEC Plan notes – See SCM Appendix C.	 Auditors will not be cross-checking the Final Subdivision Plat. 	 Subdivision / Project name - The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. 	 General vicinity map – Show the relationship of the site to existing and planned roadways, jurisdictional boundaries, major creeks, and streams. 	Checklist Item

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Audit Work Plan GEC Review Audit

11. Existing topography at one or two foot contour intervals. The map should extend a minimum of 10-feet beyond the property line for private development projects or beyond the project's land disturbance limits, whichever is larger.	_
 Limits of construction, construction site boundary, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	
10. Construction site boundaries—delineation of construction site boundaries.	2
 Limits of disturbance, areas of land disturbance, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	
9. Areas of land disturbance — total area of the site where any construction activity is expected to result in land disturbance of the ground surface.	
 Property boundary, property line, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	
8. Property lines for the site on which the work will be performed.	_
7. Plan view— at a scale of 1-inch to 20-feet up to 1-inch to 50-feet. $1'' = 30'$	2
6. North arrow and bar scale	2
Signature blocks See SCM Appendix D. Contractor signature is not required prior to Engineer, Owner, and SWENT Manager are the three required for private development Signatures blocks are reviewed for general conformance. Only signature blocks required by the SCM need to be included (for example, contractor signature is not needed on GEC Plan, even if the block is included).	1

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

17. Location of existing or proposed water courses—to include, but not limited to, groundwater springs, streams, wetlands, or other surface waters, including areas where the COR400000 requires that pre-existing vegetation be maintained within 50 feet of a receiving water.	_
 16. Location of no-build areas if indicated in a geologic hazard study. N/A A note is not needed if not applicable. 	2
15. Location of soil stockpiles – Areas designated for topsoil and subsoil storage must be shown on the plan, or a note must be included indicating that stockpile location will be determined by the contractor. Stockpile locations to be determined by contractor must not result in additional land disturbance.	1
 Adjacent areas not affected by construction can be labeled as not being affected. 	
14. Adjacent existing and proposed development affected by the construction. Labels must include ownership information and address or tax schedule numbers.	1
 Retaining wall elevations (top and bottom of wall) should be called out at least once per wall. 	
13. Location of any proposed features and structures on the site, including paved areas, retaining walls (including top and bottom of wall elevations), etc.	2
 Elevations and slope labels are optional. Proposed topography must extend to the disturbance limits, unless disturbed areas will remain at existing grade. 	
12. Proposed topography at one or two foot contour intervals. The map should show elevations and extent and the slope of all proposed grading.	_
 The existing topography must extend at least to the project's disturbance limits. Extending beyond disturbance areas is optional. 	

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Audit Work Plan GEC Review Audit

21. Location of staging areas — Staging area must be shown on the plan, or a note must be included indicating that staging area location will be determined by the contractor.	
 20. Location of concrete washout areas — Areas designated for concrete washout must be shown on the plan, or a note must be included indicating that concrete washout location will be determined by the contractor. Concrete washouts must be shown at least 50° away from State Waters. Plans do not need to specify lined vs. unlined – that will be determined in the field. 	_
 CCM abbreviations must match the CCM detail sheets, or be abbreviated in a clear manner if using an alternative control measure without an abbreviation on the detail sheet. CCM abbreviations should be shown in the legend. IP alone is sufficient – abbreviations on plan do not need to specify IP-2 (etc.). PCMs should be labeled with the type of PCM (EDB, sand filter, etc.). Details do not need to be included in the GEC Plan, as they are part of the PCM Plan. 	
19. Location of Construction Control Measures and Permanent Control Measures to be constructed as a part of the proposed work. Construction Control Measures must be indicated using clear symbology and labels including abbreviations that match the Construction Control Measure detail sheets.	_
 18. Location of existing or proposed drainage features on and adjacent to the site. Drainage features include storm conveyance infrastructure larger than 12" (inlets, pipes, manholes, outfalls). 	_
 Ditches and small unnamed tributaries do not need to be labeled. If there is a question as to whether a water course is named or not, the naming is determined based on the SpringsView basemap layer. 	

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Audit Work Plan GEC Review Audit

required to be shown in legend. • Utility easements should be labeled.	
owner for additional information. • If utilities are shown, reviewer is not responsible for checking individual utility	
27. Existing utility locations and easements - grading over existing utilities or within dedicated assements is restricted. Contact Colorado Springs Utilities or easement	2
 A note is not needed if not applicable. If a site is completely in the Hillside Overlay, a note stating that is sufficient. 	
able. Overlays do i	2
A note is not needed if not applicable. N/A	
25. Boundaries of the City Streamside Overlay if applicable. Overlays do not need to be shown for capital projects.	2
 A note is not needed if not applicable. N/A	
24. Boundaries of the 100-yr floodplain, if applicable.	2
A note is not needed if not applicable. N/A	
23. Location of any asphalt, concrete batch plants, and masonry mix stations, if applicable	1
 The Landscaping Plan does not need to be specifically named, as long as the reference is present. 	
22. Vegetation – existing vegetation to remain and proposed seeding areas. A note referencing the Landscaping Plan must be included on the GEC Plan if proposed vegetation will not be shown.	

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within the limits of the proposed grading if visibility is compromised by their inclusion. Arrows should generally depict the direction of runoff – individual arrows can be slightly off if the majority of arrows are pointing in the correct direction.
Receiving Waters – Name of closest named receiving waters. Flow arrows that depict stormwater flow directions. Arrows do not need to be located
"Summer Expected date on which the final stabilization will be completed. • Can be combined with completion time period if both will occur at the same time.
Anticipated starting and completion time period of land disturbance. Time periods can specify month – specific date is not required Starting and completion time periods can be included on the same line
Additional CCM details can be included in the GEC Plan, but are not required. SCM details, additional COS details on the website, MHFD details, and approved alternative details on the City's website are all acceptable If a detail is not included, a reference to the details on the City's website is required
Detail drawings of Construction Control Measures including installation and maintenance requirements. Details must match those provided in SCM Appendix E, or be approved through the alternative Construction Control Measure approval process.
Locations of preservation easements, if applicable. • A note is not needed if not applicable. N/A

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Audit Work Plan GEC Review Audit

- 34. Locations of all non-structural Control Measures. Nonstructural controls (like street sweeping) without a specific location may be described using notes.
- This item is passed if at least one nonstructural control measure is identified.

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

2.3.2 GEC Review Audit Determination of Noncompliance

If the audited document is in general conformance with the SCM, no Tier 1 checklist items are missing, and no more than two of the Tier 2 checklist items are missing, the audit is passed.

2.3.3 GEC Plan Checklist

The GEC Plan shall include the following as a minimum. Clarification details are provided below each checklist item as necessary. Some items may not apply to a specific project, in that case, the checklist items are not required.

<u>Tier</u>	<u>Checklist Item</u>
2	1. General vicinity map – Show the relationship of the site to existing and planned roadways, jurisdictional boundaries, major creeks, and streams.
	 Subdivision / Project name – The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name.
	 Auditors will not be cross-checking the Final Subdivision Plat.
1	3. Standard GEC Plan notes – See SCM Appendix C.
2	4. Cost estimate of the Construction Control Measures including seeding and all installation and maintenance until final stabilization is achieved. A minimum of 40% of the total cost shall be added to the cost estimate for maintenance. A unit price list may be obtained from the Stormwater Enterprise. Cost estimates are not required for capital projects.
	 Auditors will not check unit prices except for large errors
	 Names do not need to match exactly, as long as it's clear what the item is

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Audit Work Plan GEC Review Audit

11. Existing topography at one or two foot contour intervals. The map should extend a minimum of 10-feet beyond the property line for private development projects or beyond the project's land disturbance limits, whichever is larger.	_
 Construction site boundaries – delineation of construction site boundaries. Limits of construction, construction site boundary, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	2
 9. Areas of land disturbance – total area of the site where any construction activity is expected to result in land disturbance of the ground surface. Limits of disturbance, areas of land disturbance, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	1
 8.) Property lines for the site on which the work will be performed. Property boundary, property line, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	-1
7.) Plan view—at a scale of 1-inch to 20-feet up to 1-inch to 50-feet. 1" = 40'	2
6. North arrow and bar scale	2
Signature blocks See SCM Appendix D. Contractor signature is not required prior to Engineer, Owner, and SWENT Manager are the three required for private development Signatures blocks are reviewed for general conformance. Only signature blocks required by the SCM need to be included (for example, contractor signature is not needed on GEC Plan, even if the block is included).	1

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

	The existing topography must extend at least to the project's disturbance limits. Extending beyond disturbance areas is optional.
1	12. Proposed topography at one or two foot contour intervals. The map should show elevations and extent and the slope of all proposed grading.
	Elevations and slope labels are optional. Proposed topography must extend to the disturbance limits, unless disturbed areas will remain at existing grade.
2	13. Location of any proposed features and structures on the site, including paved areas, retaining walls (including top and bottom of wall elevations), etc.
	 Retaining wall elevations (top and bottom of wall) should be called out at least once per wall.
1	14. Adjacent existing and proposed development affected by the construction. Labels must include ownership information and address or tax schedule numbers.
	 Adjacent areas not affected by construction can be labeled as not being affected.
1	15. Location of soil stockpiles – Areas designated for topsoil and subsoil storage must be shown on the plan, or a note must be included indicating that stockpile location will be determined by the contractor. Stockpile locations to be determined by contractor must not result in additional land disturbance.
2	Location of no-build areas if indicated in a geologic hazard study. N/A A note is not needed if not applicable.
1	Location of existing or proposed water courses – to include, but not limited to, groundwater springs, streams, wetlands, or other surface waters, including areas where the COR400000 requires that pre-existing vegetation be maintained within 50 feet of a receiving water.

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	 Ditches and small unnamed tributaries do not need to be labeled. If there is a question as to whether a water course is named or not, the naming is determined based on the SpringsView basemap layer.
1	Location of existing or proposed drainage features on and adjacent to the site. Drainage features include storm conveyance infrastructure larger than 12" (inlets, pipes, manholes, outfalls).
1	19. Location of Construction Control Measures and Permanent Control Measures to be constructed as a part of the proposed work. Construction Control Measures must be indicated using clear symbology and labels including abbreviations that match the Construction Control Measure detail sheets. CCM abbreviations must match the CCM detail sheets, or be abbreviated in a clear manner if using an alternative control measure without an abbreviation on the detail sheet. CCM abbreviations should be shown in the legend. IP alone is sufficient – abbreviations on plan do not need to specify IP-2 (etc.). PCMs should be labeled with the type of PCM (EDB, sand filter, etc.). Details do not need to be included in the GEC Plan, as they are part of the PCM Plan.
1	20. Location of concrete washout areas — Areas designated for concrete washout must be shown on the plan, or a note must be included indicating that concrete washout location will be determined by the contractor. • Concrete washouts must be shown at least 50' away from State Waters. Plans do not need to specify lined vs. unlined – that will be determined in the field.
1	21. <u>Location of staging areas</u> – Staging area must be shown on the plan, or a note must be included indicating that staging area location will be determined by the contractor.

City of Colorado Springs Stormwater Enterprise







Audit Work Plan GEC Review Audit

• It util line p requii	27. Existing utility dedicated east owner for addi	• If a si	2 26. Boundaries of the control of t	• A not	25. Boundaries of the City Str shown for capital projects	2 24. Boundaries of A not	1 23. Location of ar	• The L	vegetation wi
In unities are snown, reviewer is not responsible for criecking individual unity line placement. If standard utility line types are used, utility line types are not required to be shown in legend. Utility easements should be labeled.	Existing utility locations and easements - grading over existing utilities or within dedicated easements is restricted. Contact Colorado Springs Utilities or easement owner for additional information.	If a site is completely in the Hillside Overlay, a note stating that is sufficient.	<mark>rity Hillside Overlay</mark>) if applicable. Overlays do i	A note is not needed if not applicable. N/A	Boundaries of the City Streamside Overlay. If applicable. Overlays do not need to be shown for capital projects.	Boundaries of the 100-yr floodplain, if applicable. A note is not needed if not applicable.	Location of any asphalt, concrete batch plants, and masonry mix stations if applicable. • A note is not needed if not applicable. N/A	The Landscaping Plan does not need to be specifically named, as long as the reference is present.	referencing the Landscaping Plan must be included on the GEC Plan it proposed vegetation will not be shown.

City of Colorado Springs Stormwater Enterprise



Audit Work Plan September 2021

G-54 GEC Audit N. Stauch 5/2/2024

Audit Work Plan GEC Review Audit

• A note is not needed if not applicable. • A note is not needed if not applicable. **NA Detail drawings of Construction Control Measures including installat maintenance requirements. Details must match those provided in SCM Appe be approved through the alternative Construction Control Measure approval • Additional CCM details can be included in the GEC Plan, but are not recommend to the Getails on the City's website are all acceptable • If a detail is not included, a reference to the details on the City's vertical alternative details on the City's website are all acceptable • If a detail is not included, a reference to the details on the City's vertical acceptable • Time periods can specify month – specific date is not required • Starting and completion time periods can be included on the same life to the date on which the final stabilization will be completed. • Can be combined with completion time period if both will occur at time. **Receiving Waters** Name of closest named receiving waters. **Receiving Waters** Name of closest named receiving waters. **Receiving Waters** Name of closest named receiving waters. **Arrows should generally depict the directions of runoff – individual are not required to be slightly off if the majority of arrows are pointing in the correct direction.	1	1 1	1		-1	2
n , d e of months	Flow arr within th	"Quarters instead of will occur at the same	 Anticipated starting and completion time period of land disturbance. Time periods can specify month – specific date is not required Starting and completion time periods can be included on the same line 	 Additional CCM details can be included in the GEC Plan, but are not required. SCM details, additional COS details on the website, MHFD details, and approved alternative details on the City's website are all acceptable If a detail is not included, a reference to the details on the City's website is required 	A note is not needed it not applicable. I drawings of Construction Control Measures including enance requirements. Details must match those provided in SC proved through the alternative Construction Control Measure a	

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Audit Work Plan GEC Review Audit

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City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

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<u>Tier</u>	<u>Checklist Item</u>
2	1. General vicinity map – Show the relationship of the site to existing and planned roadways, jurisdictional boundaries, major creeks, and streams.
	 Subdivision / Project name – The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name.
	 Auditors will not be cross-checking the Final Subdivision Plat.
1	3. Standard GEC Plan notes – See SCM Appendix C.
2	4. Cost estimate of the Construction Control Measures including seeding and all installation and maintenance until final stabilization is achieved. A minimum of 40% of the total cost shall be added to the cost estimate for maintenance. A unit price list may be obtained from the Stormwater Enterprise. Cost estimates are not required for capital projects.
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City of Colorado Springs Stormwater Enterprise



Audit Work Plan September 2021

G-59 GEC Audit N. Stauch 5/2/2024

Audit Work Plan GEC Review Audit

11. Existing topography at one or two foot contour intervals. The map should extend a minimum of 10-feet beyond the property line for private development projects or beyond the project's land disturbance limits, whichever is larger.	
 10. Construction site boundaries — delineation of construction site boundaries. • Limits of construction, construction site boundary, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	2
 9. Areas of land disturbance – total area of the site where any construction activity is expected to result in land disturbance of the ground surface. • Limits of disturbance, areas of land disturbance, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	_
 8. Property lines for the site on which the work will be performed. Property boundary, property line, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	_
7. Plan view— at a scale of 1-inch to 20-feet up to 1-inch to 50-feet. $1" = 30$	2
6. North arrow and bar scale	2
Signature blocks See SCM Appendix D. Contractor signature is not required prior to GEC Plan approval. Engineer, Owner, and SWENT Manager are the three required for private development Signatures blocks are reviewed for general conformance. Only signature blocks required by the SCM need to be included (for example, contractor signature is not needed on GEC Plan, even if the block is included).	1

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

17. Location of existing or proposed water courses— to include, but not limited to, groundwater springs, streams, wetlands, or other surface waters, including areas where the COR400000 requires that pre-existing vegetation be maintained within 50 feet of a receiving water.	_
Location of no-build areas if indicated in a geologic hazard study. A note is not needed if not applicable.	2
15. Location of soil stockpiles – Areas designated for topsoil and subsoil storage must be shown on the plan, or a note must be included indicating that stockpile location will be determined by the contractor. Stockpile locations to be determined by contractor must not result in additional land disturbance.	1
 Adjacent areas not affected by construction can be labeled as not being affected. 	
14. Adjacent existing and proposed development affected by the construction. Labels must	1
 Retaining wall elevations (top and bottom of wall) should be called out at least once per wall. 	
13. Location of any proposed features and structures on the site, including paved areas, retaining walls (including top and bottom of wall elevations), etc.	2
 Elevations and slope labels are optional. Proposed topography must extend to the disturbance limits, unless disturbed areas will remain at existing grade. 	
12. Proposed topography at one or two foot contour intervals. The map should show elevations and extent and the slope of all proposed grading.	1
 The existing topography must extend at least to the project's disturbance limits. Extending beyond disturbance areas is optional. 	

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21. Location of staging areas—Staging area must be shown on the plan, or a note must be included indicating that staging area location will be determined by the contractor.	
 Concrete washouts must be shown at least 50' away from State Waters. Plans do not need to specify lined vs. unlined – that will be determined in the field. 	
20. Location of concrete washout areas—Areas designated for concrete washout must be shown on the plan, or a note must be included indicating that concrete washout location will be determined by the contractor.	_
 PCMs should be labeled with the type of PCM (EDB, sand filter, etc.). Details do not need to be included in the GEC Plan, as they are part of the PCM Plan. 	
 CCM abbreviations must match the CCM detail sheets, or be abbreviated in a clear manner if using an alternative control measure without an abbreviation on the detail sheet. CCM abbreviations should be shown in the legend. IP alone is sufficient – abbreviations on plan do not need to specify IP-2 (etc.). 	
indicated as a part of the proposed work. Construction Control Measures must be indicated using clear symbology and labels including abbreviations that match the Construction Control Measure detail sheets.	_
(inlets, pipes, manholes, outfalls).	<u>.</u>
18. Location of existing or proposed drainage features on and adjacent to the site. • Drainage features include storm conveyance infrastructure larger than 12"	
 Ditches and small unnamed tributaries do not need to be labeled. If there is a question as to whether a water course is named or not, the naming is determined based on the SpringsView basemap layer. 	

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Audit Work Plan GEC Review Audit

 If utilities are shown, reviewer is not responsible for checking individual utility line placement. If standard utility line types are used, utility line types are not required to be shown in legend. 	
27. Existing utility locations and easements - grading over existing utilities or within dedicated easements is restricted. Contact Colorado Springs Utilities or easement owner for additional information.	2
 A note is not needed if not applicable. If a site is completely in the Hillside Overlay, a note stating that is sufficient. 	
26. Boundaries of the City Hillside Overlay, if applicable. Overlays do not need to be shown for capital projects.	2
 25. <u>Boundaries of the City Streamside Overlay</u>, if applicable. Overlays do not need to be shown for capital projects. A note is not needed if not applicable. 	2
 24. Boundaries of the 100-yr floodplain, if applicable. A note is not needed if not applicable. 	2
23. Location of any asphalt, concrete batch plants, and masonry mix stations if applicable. • A note is not needed if not applicable. N/A	1
22. Vegetation – existing vegetation to remain and proposed seeding areas. A note referencing the Landscaping Plan must be included on the GEC Plan if proposed vegetation will not be shown. • The Landscaping Plan does not need to be specifically named, as long as the reference is present.	1

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Arrows should generally depict the direction of runoff – individual arrows can be slightly off if the majority of arrows are pointing in the correct direction.
Flow arrows that depict stormwater flow directions. Arrows do not need to be located within the limits of the proposed grading if visibility is compromised by their inclusion.
Receiving Waters – Name of closest named receiving waters.
"Summe "Figure 1 "Summe "Fall" us: • Can be combined with completion time period if both will occur at the same time.
Anticipated starting and completion time period of land disturbance. Time periods can specify month – specific date is not required Starting and completion time periods can be included on the same line
SCM details, additional COS details on the website, MHFD details, and approved alternative details on the City's website are all acceptable If a detail is not included, a reference to the details on the City's website is required
Detail drawings of Construction Control Measures including installation and maintenance requirements. Details must match those provided in SCM Appendix E, or be approved through the alternative Construction Control Measure approval process. Additional CCM details can be included in the GEC Plan, but are not required.
 Locations of preservation easements, if applicable. A note is not needed if not applicable.

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

- 34. Locations of all non-structural Control Measures. Nonstructural controls (like street sweeping) without a specific location may be described using notes.
- This item is passed if at least one nonstructural control measure is identified.

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

2.3.2 GEC Review Audit Determination of Noncompliance

If the audited document is in general conformance with the SCM, no Tier 1 checklist items are missing, and no more than two of the Tier 2 checklist items are missing, the audit is passed.

2.3.3 GEC Plan Checklist

The GEC Plan shall include the following as a minimum. Clarification details are provided below each checklist item as necessary. Some items may not apply to a specific project, in that case, the checklist items are not required.

	2	1			2	<u>Tier</u>	
 Auditors will not check unit prices except for large errors Names do not need to match exactly, as long as it's clear what the item is 	4. Cost estimate of the Construction Control Measures including seeding and all installation and maintenance until final stabilization is achieved. A minimum of 40% of the total cost shall be added to the cost estimate for maintenance. A unit price list may be obtained from the Stormwater Enterprise. Cost estimates are not required for capital projects.	3.) Standard GEC Plan notes – See SCM Appendix C.	 Auditors will not be cross-checking the Final Subdivision Plat. 	 Subdivision / Project name – The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. 	1. General vicinity map – Show the relationship of the site to existing and planned roadways, jurisdictional boundaries, major creeks, and streams.	Checklist Item	

City of Colorado Springs Stormwater Enterprise



Audit Work Plan September 2021

G-69 GEC Audit N. Stauch 5/3/2024

Audit Work Plan GEC Review Audit

11. Existing topography at one or two foot contour intervals. The map should extend a minimum of 10-feet beyond the property line for private development projects or beyond the project's land disturbance limits, whichever is larger.	_
 Limits of construction, construction site boundary, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	
10. Construction site boundaries—delineation of construction site boundaries.	2
 Limits of disturbance, areas of land disturbance, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	
9. Areas of land disturbance — total area of the site where any construction activity is expected to result in land disturbance of the ground surface.	
 Property boundary, property line, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	
8. Property lines for the site on which the work will be performed.	_
7. Plan view—at a scale of 1-inch to 20-feet up to 1-inch to 50-feet. $1'' = 40'$	2
6. North arrow and bar scale	2
Signature blocks – See SCM Appendix D. Contractor signature is not required prior to Engineer, Owner, and SWENT Manager are the three required for private development Signatures blocks are reviewed for general conformance. Only signature blocks required by the SCM need to be included (for example, contractor signature is not needed on GEC Plan, even if the block is included).	

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

17. Location of existing or proposed water courses—to include, but not limited to, groundwater springs, streams, wetlands, or other surface waters, including areas where the COR400000 requires that pre-existing vegetation be maintained within 50 feet of a receiving water.	-1
Location of no-build areas if indicated in a geologic hazard study. A note is not needed if not applicable.	2
15. Location of soil stockpiles – Areas designated for topsoil and subsoil storage must be shown on the plan, or a note must be included indicating that stockpile location will be determined by the contractor. Stockpile locations to be determined by contractor must not result in additional land disturbance.	1
Adjacent existing and proposed development affected by the construction. Labels must include ownership information and address or tax schedule numbers. Adjacent areas not affected by construction can be labeled as not being affected.	٦
Location of any proposed features and structures on the site, including paved areas, retaining walls (including top and bottom of wall elevations), etc. Retaining wall elevations (top and bottom of wall) should be called out at least once per wall.	2
Proposed topography at one or two foot contour intervals. The map should show elevations and extent and the slope of all proposed grading. Elevations and slope labels are optional. Proposed topography must extend to the disturbance limits, unless disturbed areas will remain at existing grade.	1
 The existing topography must extend at least to the project's disturbance limits. Extending beyond disturbance areas is optional. 	

City of Colorado Springs Stormwater Enterprise



Audit Work Plan September 2021

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Audit Work Plan GEC Review Audit

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 Concrete washouts must be shown at least 50' away from State Waters. Plans do not need to specify lined vs. unlined – that will be determined in the field. 	
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19. Location of Construction Control Measures and Permanent Control Measures to be constructed as a part of the proposed work. Construction Control Measures must be indicated using clear symbology and labels including abbreviations that match the Construction Control Measure detail sheets.	_
18. Location of existing or proposed drainage features on and adjacent to the site. Drainage features are shown and Drainage features include storm conveyar not labeled. This is enough to satisfy the requirement for drainage features.	_
 Ditches and small unnamed tributaries do not need to be labeled. If there is question as to whether a water course is named or not, the naming is determined based on the SpringsView basemap layer. 	

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

 If utilities are shown, reviewer is not responsible for checking individual utility line placement. If standard utility line types are used, utility line types are not required to be shown in legend. Utility easements should be labeled. 	
27. Existing utility locations and easements - grading over existing utilities or within dedicated easements is restricted. Contact Colorado Springs Utilities or easement owner for additional information.	N
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26. Boundaries of the City Hillside Overlay if applicable. Overlays do not need to be shown for capital projects.	2
 Soundaries of the City Streamside Overlay. If applicable. Overlays do not need to be shown for capital projects. A note is not needed if not applicable. 	2
 24. Boundaries of the 100-yr floodplain, if applicable. A note is not needed if not applicable. 	2
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22. Vegetation – existing vegetation to remain and proposed seeding areas. A note	1

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A note is not needed if not applicable. Detail drawings of Construction Control Measures including installation an maintenance requirements. Details must match those provided in SCM Appendix E, obe approved through the alternative Construction Control Measure approval process. Additional CCM details can be included in the GEC Plan, but are not required. SCM details, additional COS details on the website, MHFD details, and approve alternative details on the City's website are all acceptable. If a detail is not included, a reference to the details on the City's website required. Time periods can specify month – specific date is not required. Starting and completion time periods can be included on the same line. Starting and completion time periods can be included on the same line. Can be combined with completion time period if both will occur at the sam time. Receiving Waters. Name of closest named receiving waters.	 Arrows should generally depict the direction of runoff – individual arrows can be slightly off if the majority of arrows are pointing in the correct direction. 		
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28. Locations of preservation easements, if applicable.		2	

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

- 34. Locations of all non-structural Control Measures. Nonstructural controls (like street sweeping) without a specific location may be described using notes.
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Audit Work Plan GEC Review Audit

2.3.2 GEC Review Audit Determination of Noncompliance

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2.3.3 GEC Plan Checklist

The GEC Plan shall include the following as a minimum. Clarification details are provided below each checklist item as necessary. Some items may not apply to a specific project, in that case, the checklist items are not required.

	2	1		1	2	<u>Tier</u>	
 Auditors will not check unit prices except for large errors Names do not need to match exactly, as long as it's clear what the item is 	4. Cost estimate of the Construction Control Measures including seeding and all installation and maintenance until final stabilization is achieved. A minimum of 40% of the total cost shall be added to the cost estimate for maintenance. A unit price list may be obtained from the Stormwater Enterprise. Cost estimates are not required for capital projects.	3.) Standard GEC Plan notes – See SCM Appendix C.	 Auditors will not be cross-checking the Final Subdivision Plat. 	 Subdivision / Project name - The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. 	1. General vicinity map – Show the relationship of the site to existing and planned roadways, jurisdictional boundaries, major creeks, and streams.	Checklist Item	

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Audit Work Plan GEC Review Audit

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15. Location of soil stockpiles – Areas designated for topsoil and subsoil storage must be shown on the plan, or a note must be included indicating that stockpile location will be determined by the contractor. Stockpile locations to be determined by contractor must not result in additional land disturbance.	1
 Adjacent areas not affected by construction can be labeled as not being affected. 	
14. Adjacent existing and proposed development affected by the construction. Labels must include ownership information and address or tax schedule numbers.	1
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13. Location of any proposed features and structures on the site, including paved areas, retaining walls (including top and bottom of wall elevations), etc.	2
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Audit Work Plan GEC Review Audit

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 If a site is completely in the Hillside Overlay, a note stating that is sufficient. 	
A note is not needed if not applicable. N/A	
26. <u>Boundaries of the City Hillside Overlay</u>) if applicable. Overlays do not need to be shown for capital projects.	2
A note is not needed if not applicable. N/A	
25. Boundaries of the City Streamside Overlay. If applicable. Overlays do not need to be shown for capital projects.	2
 A note is not needed if not applicable. Is incorrect and the site is not within a floodplain. 	
The northern portion is stated to be 24. Boundaries of the 100-yr floodplain, if applicable, in a floodplain, but the boundary is not shown in plan view	2
A note is not needed if not applicable. N/A	
23. Location of any asphalt, concrete batch plants, and masonry mix stations, if applicable.	_
 The Landscaping Plan does not need to be specifically named, as long as the reference is present. 	
22. Vegetation – existing vegetation to remain and proposed seeding areas. A note referencing the Landscaping Plan must be included on the GEC Plan if proposed vegetation will not be shown.	_

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 Arrows should generally depict the direction of runoff – individual arrows can be slightly off if the majority of arrows are pointing in the correct cirection. 	
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Chris Bueme 2024-05-02

Audit Work Plan GEC Review Audit

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<u>Tier</u>	<u>Checklist Item</u>
2	 General vicinity map – Show the relationship of the site to existing and planned roadways, jurisdictional boundaries, major creeks, and streams.
	 Subdivision / Project name - The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name.
	 Auditors will not be cross-checking the Final Subdivision Plat.
1	3. Standard GEC Plan notes – See SCM Appendix C.
2	4. Cost estimate of the Construction Control Measures including seeding and all installation and maintenance until final stabilization is achieved. A minimum of 40% of the total cost shall be added to the cost estimate for maintenance. A unit price list may be obtained from the Stormwater Enterprise. Cost estimates are not required for capital projects.
	 Auditors will not check unit prices except for large errors Names do not need to match exactly, as long as it's clear what the item is

City of Colorado Springs Stormwater Enterprise



Audit Work Plan September 2021

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Audit Work Plan GEC Review Audit

Chris Bueme 2024-05-02

	5
GEC Plan approval.	Signature blocks – See SCM Appendix D.
	. Contractor signature is not required prior to

- Signatures blocks are reviewed for general conformance. Only signature blocks required by the SCM need to be included (for example, contractor signature is not needed on GEC Plan, even if the block is included).
- 6. North arrow and bar scale
- 7. Plan view at a scale of 1-inch to 20-feet up to 1-inch to 50-feet.

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Property lines for the site on which the work will be performed

- Property boundary, property line, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
- Areas of land disturbance total area of the site where any construction activity is expected to result in land disturbance of the ground surface.
- Limits of disturbance, areas of land disturbance, etc. are all acceptable. Line
 may be combined with other delineations as long as it is labeled that way in the
 legend. Separate labels are not required.
- 10. Construction site boundaries delineation of construction site boundaries.

2

- Limits of construction, construction site boundary, etc. are all acceptable. Line
 may be combined with other delineations as long as it is labeled that way in the
 legend. Separate labels are not required.
- 11. Existing topography at one or two foot contour intervals. The map should extend a minimum of 10-feet beyond the property line for private development projects or beyond the project's land disturbance limits, whichever is larger.

City of Colorado Springs Stormwater Enterprise



Chris Bueme 2024-05-02

Audit Work Plan GEC Review Audit

	-	2	1	_	2	_	
Upon further review the Creek appears to no longer extend North of Bhargate Parkway, and is correctly shown on the site map.	17. Location of existing or proposed water courses – to include, but not limited to, groundwater springs, streams, wetlands, or other surface waters, including areas where the COR400000 requires that pre-existing vegetation be maintained within 50 feet of a receiving water. Looks like Cottonwood Creek runs adjacent to this project or through. Cannot tell. Plans appear to not identify this	 16. Location of no-build areas if indicated in a geologic hazard study. A note is not needed if not applicable. 	15. Location of soil stockpiles — Areas designated for topsoil and subsoil storage must be shown on the plan, or a note must be included indicating that stockpile location will be determined by the contractor. Stockpile locations to be determined by contractor must not result in additional land disturbance.	14. Adjacent existing and proposed development affected by the construction. Labels must include ownership information and address or tax schedule numbers. • Adjacent areas not affected by construction can be labeled as not being affected.	 13 Location of any proposed features and structures on the site, including paved areas, retaining walls (including top and bottom of wall elevations), etc. Retaining wall elevations (top and bottom of wall) should be called out at least once per wall. 	 12. Proposed topography at one or two foot contour intervals. The map should show elevations and extent and the slope of all proposed grading. Elevations and slope labels are optional. Proposed topography must extend to the disturbance limits, unless disturbed areas will remain at existing grade. 	 The existing topography must extend at least to the project's disturbance limits. Extending beyond disturbance areas is optional.

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19. Location of Construction Control Measures and Permanent Control Measures to be constructed as a part of the proposed work. Construction Control Measures must be indicated using clear symbology and labels including abbreviations that match the	18. Location of existing or proposed drainage features on and adjacent to the site. • Drainage features include storm conveyance infrastructure larger than 12" (inlets, pipes, manholes, outfalls).	Ditches and small unnamed tributaries do not need to be labeled. If there is a question as to whether a water course is named or not, the naming is determined based on the SpringsView basemap layer.	
sures and Permanent Control Measures to be vork. Construction Control Measures must be abels including abbreviations that match the	<mark>ge features</mark> on and adjacent to the site. m conveyance infrastructure larger than 12").	utaries do not need to be labeled. If there is a course is named or not, the naming is gsView basemap layer.	

CCM abbreviations must match the CCM detail sheets, or be abbreviated in a

on the detail sheet. CCM abbreviations should be shown in the legend. IP

alone is sufficient – abbreviations on plan do not need to specify IP-2 (etc.).

clear manner if using an alternative control measure without an abbreviation

PCMs should be labeled with the type of PCM (EDB, sand filter, etc.). Details do

not need to be included in the GEC Plan, as they are part of the PCM Plan.

20 Location of concrete washout areas — Areas designated for concrete washout must be shown on the plan, or a note must be included indicating that concrete washout location will be determined by the contractor.
 Concrete washouts must be shown at least 50' away from State Waters. Plans do not need to specify lined vs. unlined — that will be determined in the field.
 21 Location of staging areas — Staging area must be shown on the plan, or a note must be included indicating that staging area location will be determined by the contractor.



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Utility easements should be labeled.	
 If utilities are shown, reviewer is not responsible for checking individual utility line placement. If standard utility line types are used, utility line types are not required to be shown in legend. 	
27. Existing utility locations and easements - grading over existing utilities or within dedicated easements is restricted. Contact Colorado Springs Utilities or easement owner for additional information.	2
 If a site is completely in the Hillside Overlay, a note stating that is sufficient. 	
 A note is not needed if not applicable. 	
26. Boundaries of the City Hillside Overlay, if applicable. Overlays do not need to be shown for capital projects.	2
A note is not needed if not applicable.	
25. Boundaries of the City Streamside Overlay, if applicable. Overlays do not need to be shown for capital projects.	2
A note is not needed if not applicable.	
24. Boundaries of the 100-yr floodplain, if applicable.	2
A note is not needed if not applicable.	
23. Location of any asphalt, concrete batch plants, and masonry mix stations, if applicable.	<u> </u>
 The Landscaping Plan does not need to be specifically named, as long as the reference is present. 	
22. Vege <mark>tation</mark> – existing vegetation to remain and proposed seeding areas. A note referencing the Landscaping Plan must be included on the GEC Plan if proposed vegetation will not be shown.	1
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 Arrows should generally depict the direction of runoff – individual arrows can be slightly off if the majority of arrows are pointing in the correct direction. 	
33. Flow arrows that depict stormwater flow directions. Arrows do not need to be located within the limits of the proposed grading if visibility is compromised by their inclusion.	_
32. Receiving Waters – Name of closest named receiving waters.	
 31. Expected date on which the final stabilization will be completed. • Can be combined with completion time period if both will occur at the same time. 	
 Time periods can specify month – specific date is not required Starting and completion time periods can be included on the same line 	
30. Anticipated starting and completion time period of land disturbance,	1
 Additional CCM details can be included in the GEC Plan, but are not required. SCM details, additional COS details on the website, MHFD details, and approved alternative details on the City's website are all acceptable If a detail is not included, a reference to the details on the City's website is required 	
29. Detail drawings of Construction Control Measures including installation and maintenance requirements. Details must match those provided in SCM Appendix E, or be approved through the alternative Construction Control Measure approval process.	1
28. Locations of preservation easements, if applicable. • A note is not needed if not applicable.	2

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Chris Bueme 2024-05-02

Audit Work Plan GEC Review Audit

- 34. Locations of all non-structural Control Measures. Nonstructural controls (like street sweeping) without a specific location may be described using notes.
- This item is passed if at least one nonstructural control measure is identified.

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

2.3.2 GEC Review Audit Determination of Noncompliance

If the audited document is in general conformance with the SCM, no Tier 1 checklist items are missing, and no more than two of the Tier 2 checklist items are missing, the audit is passed.

2.3.3 GEC Plan Checklist

The GEC Plan shall include the following as a minimum. Clarification details are provided below each checklist item as necessary. Some items may not apply to a specific project, in that case, the checklist items are not required.

	N	_		-	2	<u>Tier</u>
 Auditors will not check unit prices except for large errors Names do not need to match exactly, as long as it's clear what the item is 	4. Cost estimate of the Construction Control Measures including seeding and all installation and maintenance until final stabilization is achieved. A minimum of 40% of the total cost shall be added to the cost estimate for maintenance. A unit price list may be obtained from the Stormwater Enterprise. Cost estimates are not required for capital projects.	3. Standard GEC Plan notes – See SCM Appendix C.	 Auditors will not be cross-checking the Final Subdivision Plat. 	 Subdivision / Project name - The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. 	 General vicinity map – Show the relationship of the site to existing and planned roadways, jurisdictional boundaries, major creeks, and streams. 	Checklist Item

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Audit Work Plan September 2021

G-104 GEC Audit N. Stauch 5/3/2024

Audit Work Plan GEC Review Audit

11. Existing topography at one or two foot contour intervals. The map should extend a minimum of 10-feet beyond the property line for private development projects or beyond the project's land disturbance limits, whichever is larger.	
 Limits of construction, construction site boundary, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	
10. Construction site boundaries – delineation of construction site boundaries.	2
 Limits of disturbance, areas of land disturbance, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	
9. Areas of land disturbance – total area of the site where any construction activity is expected to result in land disturbance of the ground surface.	_
 Property boundary, property line, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	
8. Property lines for the site on which the work will be performed.	_
7. Plan view – at a scale of 1-inch to 20-feet up to 1-inch to 50-feet. 1" = 60' not acceptable scale	2
6. North arrow and bar scale	2
Signature blocks See SCM Appendix D. Contractor signature is not required prior to GEC Plan approval. Engineer, Owner, and SWENT Manager are the three required for private development Signatures blocks are reviewed for general conformance. Only signature blocks required by the SCM need to be included (for example, contractor signature is not needed on GEC Plan, even if the block is included).	_

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Audit Work Plan GEC Review Audit

17. Location of existing or proposed water courses—to include, but not limited to, groundwater springs, streams, wetlands, or other surface waters, including areas where the COR400000 requires that pre-existing vegetation be maintained within 50 feet of a receiving water.	1
 16. Location of no-build areas if indicated in a geologic hazard study. N/A A note is not needed if not applicable. 	2
15. Location of soil stockpiles — Areas designated for topsoil and subsoil storage must be shown on the plan, or a note must be included indicating that stockpile location will be determined by the contractor. Stockpile locations to be determined by contractor must not result in additional land disturbance.	1
 14. Adjacent existing and proposed development affected by the construction. Labels must include ownership information and address or tax schedule numbers. Adjacent areas not affected by construction can be labeled as not being affected. 	_
Location of any proposed features and structures on the site, including paved areas, retaining walls (including top and bottom of wall elevations), etc. Retaining wall elevations (top and bottom of wall) should be called out at least once per wall.	2
 12. Proposed topography at one or two foot contour intervals. The map should show elevations and extent and the slope of all proposed grading. Elevations and slope labels are optional. Proposed topography must extend to the disturbance limits, unless disturbed areas will remain at existing grade. 	1
 The existing topography must extend at least to the project's disturbance limits. Extending beyond disturbance areas is optional. 	

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G-104 GEC Audit N. Stauch 5/3/2024

Audit Work Plan GEC Review Audit

21. Location of staging areas — Staging area must be shown on the plan, or a note must be included indicating that staging area location will be determined by the contractor.	
 Concrete washouts must be shown at least 50' away from State Waters. Plans do not need to specify lined vs. unlined – that will be determined in the field. 	
20. Location of concrete washout areas — Areas designated for concrete washout must be shown on the plan, or a note must be included indicating that concrete washout location will be determined by the contractor.	_
 PCMs should be labeled with the type of PCM (EDB, sand filter, etc.). Details do not need to be included in the GEC Plan, as they are part of the PCM Plan. 	
 CCM abbreviations must match the CCM detail sheets, or be abbreviated in a clear manner if using an alternative control measure without an abbreviation on the detail sheet. CCM abbreviations should be shown in the legend. IP alone is sufficient – abbreviations on plan do not need to specify IP-2 (etc.). 	
19. Location of Construction Control Measures and Permanent Control Measures to be constructed as a part of the proposed work. Construction Control Measures must be indicated using clear symbology and labels including abbreviations that match the Construction Control Measure detail sheets.	
 Drainage features include storm conveyance infrastructure larger than 12" (inlets, pipes, manholes, outfalls). 	
18. Location of existing or proposed drainage features on and adjacent to the site.	1
 Ditches and small unnamed tributaries do not need to be labeled. If there is a question as to whether a water course is named or not, the naming is determined based on the SpringsView basemap layer. 	

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

 If utilities are shown, reviewer is not responsible for checking individual utility line placement. If standard utility line types are used, utility line types are not required to be shown in legend. Utility easements should be labeled. 	
27. Existing utility locations and easements - grading over existing utilities or within dedicated easements is restricted. Contact Colorado Springs Utilities or easement owner for additional information.	2
 A note is not needed if not applicable. If a site is completely in the Hillside Overlay, a note stating that is sufficient. 	
26. Boundaries of the City Hillside Overlay if applicable. Overlays do not need to be shown for capital projects.	2
A note is not needed if not applicable. N/A	
25. Boundaries of the City Streamside Overlay, if applicable. Overlays do not need to be shown for capital projects.	2
24. Boundaries of the 100-yr floodplain, if applicable. N/A A note is not needed if not applicable.	2
23. Location of any asphalt, concrete batch plants, and masonry mix stations if applicable. • A note is not needed if not applicable. N/A	_
 The Landscaping Plan does not need to be specifically named, as long as the reference is present. 	
22. Vegetation – existing vegetation to remain and proposed seeding areas. A note referencing the Landscaping Plan must be included on the GEC Plan if proposed vegetation will not be shown.	1

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Audit Work Plan GEC Review Audit

 Arrows should generally depict the direction of runoff – individual arrows can be slightly off if the majority of arrows are pointing in the correct direction. 		
33. Flow arrows that depict stormwater flow directions. Arrows do not need to be located within the limits of the proposed grading if visibility is compromised by their inclusion.	<u> </u>	
32. Receiving Waters - Name of closest named receiving waters.		
 31. Expected date on which the final stabilization will be completed. Can be combined with completion time period if both will occur at the same time. 		
 Initial periods can specify month – specific date is not required Starting and completion time periods can be included on the same line 		
30. Anticipated starting and completion time period of land disturbance.		
 SCM details, additional COS details on the website, MHFD details, and approved alternative details on the City's website are all acceptable If a detail is not included, a reference to the details on the City's website is required 		
 Additional CCM details can be included in the GEC Plan, but are not required. 		
29. <u>Detail drawings of Construction Control Measures</u> including installation and maintenance requirements. Details must match those provided in SCM Appendix E, or be approved through the alternative Construction Control Measure approval process.		
Locations of preservation easements, if applicable. A note is not needed if not applicable. N/A	. 2	2

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

- 34. Locations of all non-structural Control Measures. Nonstructural controls (like street sweeping) without a specific location may be described using notes.
- This item is passed if at least one nonstructural control measure is identified.

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

2.3.2 GEC Review Audit Determination of Noncompliance

If the audited document is in general conformance with the SCM, no Tier 1 checklist items are missing, and no more than two of the Tier 2 checklist items are missing, the audit is passed.

2.3.3 GEC Plan Checklist

The GEC Plan shall include the following as a minimum. Clarification details are provided below each checklist item as necessary. Some items may not apply to a specific project, in that case, the checklist items are not required.

	N	_		1	2	<u>Tier</u>
 Auditors will not check unit prices except for large errors Names do not need to match exactly, as long as it's clear what the item is 	4. Cost estimate of the Construction Control Measures including seeding and all installation and maintenance until final stabilization is achieved. A minimum of 40% of the total cost shall be added to the cost estimate for maintenance. A unit price list may be obtained from the Stormwater Enterprise. Cost estimates are not required for capital projects.	3. Standard GEC Plan notes – See SCM Appendix C.	 Auditors will not be cross-checking the Final Subdivision Plat. 	 Subdivision / Project name - The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. 	1. General vicinity map – Show the relationship of the site to existing and planned roadways, jurisdictional boundaries, major creeks, and streams.	Checklist Item

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G-116 GEC Audit N. Stauch 5/3/2024

Audit Work Plan GEC Review Audit

11. Existing topography at one or two foot contour intervals. The map should extend a minimum of 10-feet beyond the property line for private development projects or beyond the project's land disturbance limits, whichever is larger.	
 10. Construction site boundaries — delineation of construction site boundaries. Limits of construction, construction site boundary, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	2
Areas of land disturbance – total area of the site where any construction activity is expected to result in land disturbance of the ground surface. Limits of disturbance, areas of land disturbance, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.	_
Property lines for the site on which the work will be performed. Property boundary, property line, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.	_
7. $\frac{Plan \text{ view}}{Plan \text{ view}}$ at a scale of 1-inch to 20-feet up to 1-inch to 50-feet. 1" = 20'	2
6. North arrow and bar scale	2
Signature blocks See SCM Appendix D. Contractor signature is not required prior to GEC Plan approval. Engineer, Owner, and SWENT Manager are the three required for private development Signatures blocks are reviewed for general conformance. Only signature blocks required by the SCM need to be included (for example, contractor signature is not needed on GEC Plan, even if the block is included).	-1

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

17. Location of existing or proposed water courses—to include, but not limited to, groundwater springs, streams, wetlands, or other surface waters, including areas where the COR400000 requires that pre-existing vegetation be maintained within 50 feet of a receiving water.	-1
 16. Location of no-build areas if indicated in a geologic hazard study. N/A A note is not needed if not applicable. 	2
15. Location of soil stockpiles – Areas designated for topsoil and subsoil storage must be shown on the plan, or a note must be included indicating that stockpile location will be determined by the contractor. Stockpile locations to be determined by contractor must not result in additional land disturbance.	_
 14. Adjacent existing and proposed development affected by the construction. Labels must include ownership information and address or tax schedule numbers. Adjacent areas not affected by construction can be labeled as not being affected. 	_
Location of any proposed features and structures on the site, including paved areas, retaining walls (including top and bottom of wall elevations), etc. Retaining wall elevations (top and bottom of wall) should be called out at least once per wall.	2
Proposed topography at one or two foot contour intervals. The map should show elevations and extent and the slope of all proposed grading. Elevations and slope labels are optional. Proposed topography must extend to the disturbance limits, unless disturbed areas will remain at existing grade.	_
 The existing topography must extend at least to the project's disturbance limits. Extending beyond disturbance areas is optional. 	

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Audit Work Plan GEC Review Audit

21. Location of staging areas—Staging area must be shown on the plan, or a note must be included indicating that staging area location will be determined by the contractor.	
 Concrete washouts must be shown at least 50' away from State Waters. Plans do not need to specify lined vs. unlined – that will be determined in the field. 	
20. Location of concrete washout areas — Areas designated for concrete washout must be shown on the plan, or a note must be included indicating that concrete washout location will be determined by the contractor.	<u> </u>
 PCMs should be labeled with the type of PCM (EDB, sand filter, etc.). Details do not need to be included in the GEC Plan, as they are part of the PCM Plan. 	
 CCM abbreviations must match the CCM detail sheets, or be abbreviated in a clear manner if using an alternative control measure without an abbreviation on the detail sheet. CCM abbreviations should be shown in the legend. IP alone is sufficient – abbreviations on plan do not need to specify IP-2 (etc.). 	
constructed as a part of the proposed work. Construction Control Measures must be indicated using clear symbology and labels including abbreviations that match the Construction Control Measure detail sheets.	
19. Location of Construction Control Measures and Permanent Control Measures to be	_
 Drainage features include storm conveyance infrastructure larger than 12" (inlets, pipes, manholes, outfalls). 	
18. Location of existing or proposed drainage features on and adjacent to the site.	1
 Ditches and small unnamed tributaries do not need to be labeled. If there is a question as to whether a water course is named or not, the naming is determined based on the SpringsView basemap layer. 	

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Audit Work Plan GEC Review Audit

A note is not needed if not applicable. 24. Boundaries of the 100-yr floodplain, if applicable. A note is not needed if not applicable. 25. Boundaries of the City Streamside Overlay, if applicable. Overlays do not need to be shown for capital projects. A note is not needed if not applicable. 26. Boundaries of the City Hillside Overlay if applicable. A note is not needed if not applicable. A note is not needed if not applicable. If a site is completely in the Hillside Overlay, a note stating that is sufficient. 27. Existing utility locations and easements - grading over existing utilities or within dedicated easements is restricted. Contact Colorado Springs Utilities or easement owner for additional information.	 If utilities are shown, reviewer is not responsible for checking individual utility line placement. If standard utility line types are used, utility line types are not required to be shown in legend. Utility easements should be labeled.
	Existing utility locations and easer dedicated easements is restricted.
	A note is not needed if not applicab If a site is completely in the Hillside
 A note is not needed if not applicable. Boundaries of the 100-yr floodplain, if applicable. A note is not needed if not applicable. Boundaries of the City Streamside Overlay, if applicable, shown for capital projects. A note is not needed if not applicable. 	
 A note is not needed if not applicable. Boundaries of the 100-yr floodplain, if applicable. A note is not needed if not applicable. 	
	Boundaries of the 100-yr floodplain. • A note is not needed if not
23. Location of any asphalt, concrete batch plants, and masonry mix stations) if applicable.	
referencing the Landscaping Plan must be included on the GEC Plan if proposed vegetation will not be shown. • The Landscaping Plan does not need to be specifically named, as long as the reference is present.	

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Starting and completion time periods can be Can be combined with completion time petime. Can be combined with completion time petime. Receiving Waters + Name of closest named receiving the arrows that depict stormwater flow directions, within the limits of the proposed grading if visibility within the limits within the limits of the proposed grading if visibility within the limits within the	<mark>d starting an</mark> me periods c	A note is not drawings of nance require oved through Additional CC SCM details, alternative de alternative de required	of pres
Expected date on which the final stabilization will be completed. Can be combined with completion time period if both will occur at the same time. Receiving Waters + Name of closest named receiving waters. Flow arrows that depict stormwater flow directions. Arrows do not need to be located within the limits of the proposed grading if visibility is compromised by their inclusion. Arrows should generally depict the direction of runoff – individual arrows can be slightly off if the majority of arrows are pointing in the correct direction.	Anticipated starting and completion time period of land disturbance. Seasons used Time periods can specify month – specific date is not required instead of months	A note is not needed if not applicable. N/A Detail drawings of Construction Control Measures including installation and maintenance requirements. Details must match those provided in SCM Appendix E, or be approved through the alternative Construction Control Measure approval process. Additional CCM details can be included in the GEC Plan, but are not required. SCM details, additional COS details on the website, MHFD details, and approved alternative details on the City's website are all acceptable If a detail is not included, a reference to the details on the City's website is required	Locations of preservation easements, if applicable.

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Audit Work Plan GEC Review Audit

- 34. Locations of all non-structural Control Measures. Nonstructural controls (like street sweeping) without a specific location may be described using notes.
- This item is passed if at least one nonstructural control measure is identified.

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Audit Work Plan GEC Review Audit

2.3.2 GEC Review Audit Determination of Noncompliance

If the audited document is in general conformance with the SCM, no Tier 1 checklist items are missing, and no more than two of the Tier 2 checklist items are missing, the audit is passed.

2.3.3 GEC Plan Checklist

The GEC Plan shall include the following as a minimum. Clarification details are provided below each checklist item as necessary. Some items may not apply to a specific project, in that case, the checklist items are not required.

	N	1		1	2	<u>Tier</u>
 Auditors will not check unit prices except for large errors Names do not need to match exactly, as long as it's clear what the item is 	4. Cost estimate of the Construction Control Measures including seeding and all installation and maintenance until final stabilization is achieved. A minimum of 40% of the total cost shall be added to the cost estimate for maintenance. A unit price list may be obtained from the Stormwater Enterprise. Cost estimates are not required for capital projects.	3. Standard GEC Plan notes – See SCM Appendix C.	 Auditors will not be cross-checking the Final Subdivision Plat. 	 Subdivision / Project name - The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. 	 General vicinity map – Show the relationship of the site to existing and planned roadways, jurisdictional boundaries, major creeks, and streams. 	Checklist Item

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Audit Work Plan September 2021

G-122 GEC Audit N. Stauch 5/3/2024

Audit Work Plan GEC Review Audit

11. Existing topography at one or two foot contour intervals. The map should extend a minimum of 10-feet beyond the property line for private development projects or beyond the project's land disturbance limits, whichever is larger.	٦
 Construction site boundaries – delineation of construction site boundaries. Limits of construction, construction site boundary, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	2
 Limits of disturbance, areas of land disturbance, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	
 Areas of land disturbance – total area of the site where any construction activity is expected to result in land disturbance of the ground surface. 	_
 Property boundary, property line, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	
8. Property lines for the site on which the work will be performed.	_
7. Plan view $+$ at a scale of 1-inch to 20-feet up to 1-inch to 50-feet. 1" = 40'	2
6. North arrow and bar scale	2
Signature blocks See SCM Appendix D. Contractor signature is not required prior to GEC Plan approval. Engineer, Owner, and SWENT Manager are the three required for private development Signatures blocks are reviewed for general conformance. Only signature blocks required by the SCM need to be included (for example, contractor signature is not needed on GEC Plan, even if the block is included).	-1

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Audit Work Plan GEC Review Audit

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Audit Work Plan September 2021

G-122 GEC Audit N. Stauch 5/3/2024

Audit Work Plan GEC Review Audit

21. Location of staging areas – Staging area must be shown on the plan, or a note must be included indicating that staging area location will be determined by the contractor.	
 Concrete washouts must be shown at least 50' away from State Waters. Plans do not need to specify lined vs. unlined – that will be determined in the field. 	
20. Location of concrete washout areas – Areas designated for concrete washout must be shown on the plan, or a note must be included indicating that concrete washout location will be determined by the contractor.	
 PCMs should be labeled with the type of PCM (EDB, sand filter, etc.). Details do not need to be included in the GEC Plan, as they are part of the PCM Plan. 	
 CCM abbreviations must match the CCM detail sheets, or be abbreviated in a clear manner if using an alternative control measure without an abbreviation on the detail sheet. CCM abbreviations should be shown in the legend. IP alone is sufficient – abbreviations on plan do not need to specify IP-2 (etc.). 	
19. Location of Construction Control Measures and Permanent Control Measures to be constructed as a part of the proposed work. Construction Control Measures must be indicated using clear symbology and labels including abbreviations that match the Construction Control Measure detail sheets.	_
 Drainage features include storm conveyance infrastructure larger than 12" (inlets, pipes, manholes, outfalls). 	
18. Location of existing or proposed drainage features on and adjacent to the site.	1
 Ditches and small unnamed tributaries do not need to be labeled. If there is a question as to whether a water course is named or not, the naming is determined based on the SpringsView basemap layer. 	

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

 If utilities are shown, reviewer is not responsible for checking individual utility line placement. If standard utility line types are used, utility line types are not required to be shown in legend. Utility easements should be labeled. 	
27. Existing utility locations and easements - grading over existing utilities or within dedicated easements is restricted. Contact Colorado Springs Utilities or easement owner for additional information.	2
 A note is not needed if not applicable. If a site is completely in the Hillside Overlay, a note stating that is sufficient. 	
26. Boundaries of the City Hillside Overlay, if applicable. Overlays do not need to be shown for capital projects.	2
 25. Boundaries of the City Streamside Overlay of applicable. Overlays do not need to be shown for capital projects. A note is not needed if not applicable. 	2
24. Boundaries of the 100-yr floodplain, if applicable. N/A A note is not needed if not applicable.	2
Location of any asphalt, concrete batch plants, and masonry mix stations, if applicable. A note is not needed if not applicable. N/A	_
22. Vegetation — existing vegetation to remain and proposed seeding areas. A note referencing the Landscaping Plan must be included on the GEC Plan if proposed vegetation will not be shown. The Landscaping Plan does not need to be specifically named, as long as the reference is present.	

City of Colorado Springs Stormwater Enterprise



Audit Work Plan September 2021

G-122 GEC Audit N. Stauch 5/3/2024

Audit Work Plan GEC Review Audit

 Arrows should generally depict the direction of runoff – individual arrows can be slightly off if the majority of arrows are pointing in the correct direction. 	
33. Flow arrows that depict stormwater flow directions. Arrows do not need to be located within the limits of the proposed grading if visibility is compromised by their inclusion.	_
32. Receiving Waters – Name of closest named receiving waters.	
St. Expected date on which the final stabilization will be completed. Can be combined with completion time period if both will occur at the same time.	
 Time periods can specify month – specific date is not required Starting and completion time periods can be included on the same line 	
30. Anticipated starting and completion time period of land disturbance.	1
 SCM details, additional COS details on the website, MHFD details, and approved alternative details on the City's website are all acceptable If a detail is not included, a reference to the details on the City's website is required 	
 Additional CCM details can be included in the GEC Plan, but are not required. 	
29. Detail drawings of Construction Control Measures including installation and maintenance requirements. Details must match those provided in SCM Appendix E, or be approved through the alternative Construction Control Measure approval process.	1
28. Locations of preservation easements, if applicable. • A note is not needed if not applicable. N/A	2

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

<u>-</u>

- 34. Locations of all non-structural Control Measures. Nonstructural controls (like street sweeping) without a specific location may be described using notes.
- This item is passed if at least one nonstructural control measure is identified.

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

2.3.2 GEC Review Audit Determination of Noncompliance

If the audited document is in general conformance with the SCM, no Tier 1 checklist items are missing, and no more than two of the Tier 2 checklist items are missing, the audit is passed.

2.3.3 GEC Plan Checklist

The GEC Plan shall include the following as a minimum. Clarification details are provided below each checklist item as necessary. Some items may not apply to a specific project, in that case, the checklist items are not required.

	2	1		1	2	<u>Tier</u>	
 Auditors will not check unit prices except for large errors Names do not need to match exactly, as long as it's clear what the item is 	4. Cost estimate of the Construction Control Measures including seeding and all installation and maintenance until final stabilization is achieved. A minimum of 40% of the total cost shall be added to the cost estimate for maintenance. A unit price list may be obtained from the Stormwater Enterprise. Cost estimates are not required for capital projects.	3.) Standard GEC Plan notes – See SCM Appendix C.	 Auditors will not be cross-checking the Final Subdivision Plat. 	 Subdivision / Project name - The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. 	1. General vicinity map – Show the relationship of the site to existing and planned roadways, jurisdictional boundaries, major creeks, and streams.	Checklist Item	

City of Colorado Springs Stormwater Enterprise



Audit Work Plan September 2021

G-137 GEC Audit N. Stauch 5/3/2024

Audit Work Plan GEC Review Audit

11. Existing topography at one or two foot contour intervals. The map should extend a minimum of 10-feet beyond the property line for private development projects or beyond the project's land disturbance limits, whichever is larger.	_
 Construction site boundaries – delineation of construction site boundaries. Limits of construction, construction site boundary, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	2
 9. Areas of land disturbance – total area of the site where any construction activity is expected to result in land disturbance of the ground surface. • Limits of disturbance, areas of land disturbance, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	1
 8. Property lines for the site on which the work will be performed. Property boundary, property line, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required. 	_
7.) Plan view — at a scale of 1-inch to 20-feet up to 1-inch to 50-feet. 1" = 50'	2
6. North arrow and bar scale	2
Signature blocks See SCM Appendix D. Contractor signature is not required prior to GEC Plan approval. Engineer, Owner, and SWENT Manager are the three required for private development Signatures blocks are reviewed for general conformance. Only signature blocks required by the SCM need to be included (for example, contractor signature is not needed on GEC Plan, even if the block is included).	-1

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

17. Location of existing or proposed water courses— to include, but not limited to, groundwater springs, streams, wetlands, or other surface waters, including areas where the COR400000 requires that pre-existing vegetation be maintained within 50 feet of a receiving water.	_
Location of no-build areas if indicated in a geologic hazard study. A note is not needed if not applicable.	2
15. Location of soil stockpiles – Areas designated for topsoil and subsoil storage must be shown on the plan, or a note must be included indicating that stockpile location will be determined by the contractor. Stockpile locations to be determined by contractor must not result in additional land disturbance.	1
 Adjacent areas not affected by construction can be labeled as not being affected. 	
14. Adjacent existing and proposed development affected by the construction. Labels must	1
 Retaining wall elevations (top and bottom of wall) should be called out at least once per wall. 	
13. Location of any proposed features and structures on the site, including paved areas, retaining walls (including top and bottom of wall elevations), etc.	2
 Elevations and slope labels are optional. Proposed topography must extend to the disturbance limits, unless disturbed areas will remain at existing grade. 	
12. Proposed topography at one or two foot contour intervals. The map should show elevations and extent and the slope of all proposed grading.	1
 The existing topography must extend at least to the project's disturbance limits. Extending beyond disturbance areas is optional. 	

City of Colorado Springs Stormwater Enterprise



Audit Work Plan September 2021

G-137 GEC Audit N. Stauch 5/3/2024

Audit Work Plan GEC Review Audit

21. Location of staging areas – Staging area must be shown on the plan, or a note must be included indicating that staging area location will be determined by the contractor.	_
 Concrete washouts must be shown at least 50' away from State Waters. Plans do not need to specify lined vs. unlined – that will be determined in the field. 	
20. Location of concrete washout areas — Areas designated for concrete washout must be shown on the plan, or a note must be included indicating that concrete washout location will be determined by the contractor.	
 PCMs should be labeled with the type of PCM (EDB, sand filter, etc.). Details do not need to be included in the GEC Plan, as they are part of the PCM Plan. 	
 CCM abbreviations must match the CCM detail sheets, or be abbreviated in a clear manner if using an alternative control measure without an abbreviation on the detail sheet. CCM abbreviations should be shown in the legend. IP alone is sufficient – abbreviations on plan do not need to specify IP-2 (etc.). 	
construction of Construction Control Measures and Permanent Control Measures to be constructed as a part of the proposed work. Construction Control Measures must be indicated using clear symbology and labels including abbreviations that match the Construction Control Measure detail sheets.	-
10 Institute of Control Manufacture and Demonstrate Manufacture to be	`
 Drainage features include storm conveyance infrastructure larger than 12" (inlets, pipes, manholes, outfalls). 	
18. Location of existing or proposed drainage features on and adjacent to the site.	1
 Ditches and small unnamed tributaries do not need to be labeled. If there is a question as to whether a water course is named or not, the naming is determined based on the SpringsView basemap layer. 	

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

 If utilities are shown, reviewer is not responsible for checking individual utility line placement. If standard utility line types are used, utility line types are not required to be shown in legend. 	27. Existing utility locations and easements dedicated easements is restricted. Contactory contactory owner for additional information.	A note is not needed if not applicable If a site is completely in the Hillside O	2 26. Boundaries of the City Hillside Overlay if ap for capital projects.	2 25. Boundaries of the City Streamside Overlay, if shown for capital projects. • A note is not needed if not applicable	2 24. Boundaries of the 100-yr floodplain, if applical • A note is not needed if not applicable	Location of any asphalt, concrete batch plants. A note is not needed if not applicable.	
A note is not needed if not applicable. If a site is completely in the Hillside Overlay, a note stating that is sufficient. If a site is completely in the Hillside Overlay, a note stating that is sufficient. If a site is completely in the Hillside Overlay, a note stating that is sufficient. If a site is completely in the Hillside Overlay, a note stating that is sufficient. If a site is completely in the Hillside Overlay, a note stating that is sufficient.	needed if not applicable. N/A npletely in the Hillside Overlay, a note stating that is suffice.		<mark>Boundaries of the City Hillside Overlay</mark> if applicable. Overlays do not need to be shown for capital projects.	<mark>v. Streamside Overlay,</mark> if applicable. Overlays do not need to be jects. N/A needed if not applicable.	<mark>-yr floodplain,</mark> if applicable. N/A needed if not applicable.	Location of any asphalt, concrete batch plants, and masonry mix stations, if applicable A note is not needed if not applicable. N/A	reference is present.

City of Colorado Springs Stormwater Enterprise



Audit Work Plan September 2021

G-137 GEC Audit N. Stauch 5/3/2024

Audit Work Plan GEC Review Audit

 Arrows should generally depict the direction of runoff – individual arrows can be slightly off if the majority of arrows are pointing in the correct cirection. 	
33. Flow arrows that depict stormwater flow directions. Arrows do not need to be located within the limits of the proposed grading if visibility is compromised by their inclusion.	
32. Receiving Waters – Name of closest named receiving waters.	_
Expected date on which the final stabilization will be completed. Can be combined with completion time period if both will occur at the same time.	
30. Anticipated starting and completion time period of land disturbance. Time periods can specify month – specific date is not required Starting and completion time periods can be included on the same line	_
 Additional CCM details can be included in the GEC Plan, but are not required. SCM details, additional COS details on the website, MHFD details, and approved alternative details on the City's website are all acceptable If a detail is not included, a reference to the details on the City's website is required 	
29. <u>Detail drawings of Construction Control Measures</u> including installation and maintenance requirements. Details must match those provided in SCM Appendix E, or be approved through the alternative Construction Control Measure approval process.	_
Locations of preservation easements, if applicable. A note is not needed if not applicable. N/A	2

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

- 34. Locations of all non-structural Control Measures. Nonstructural controls (like street sweeping) without a specific location may be described using notes.
- This item is passed if at least one nonstructural control measure is identified.

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

2.3.2 GEC Review Audit Determination of Noncompliance

If the audited document is in general conformance with the SCM, no Tier 1 checklist items are missing, and no more than two of the Tier 2 checklist items are missing, the audit is passed.

2.3.3 GEC Plan Checklist

The GEC Plan shall include the following as a minimum. Clarification details are provided below each checklist item as necessary. Some items may not apply to a specific project, in that case, the checklist items are not required.

<u>Tier</u>	<u>Checklist Item</u>
2	1. General vicinity map – Show the relationship of the site to existing and planned roadways, jurisdictional boundaries, major creeks, and streams.
	 Subdivision / Project name – The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name.
	 Auditors will not be cross-checking the Final Subdivision Plat.
1	3. Standard GEC Plan notes – See SCM Appendix C.
2	4. Cost estimate of the Construction Control Measures including seeding and all installation and maintenance until final stabilization is achieved. A minimum of 40% of the total cost shall be added to the cost estimate for maintenance. A unit price list may be obtained from the Stormwater Enterprise. Cost estimates are not required for capital projects.
	 Auditors will not check unit prices except for large errors
	 Names do not need to match exactly, as long as it's clear what the item is

City of Colorado Springs Stormwater Enterprise



Audit Work Plan September 2021

G-144 GEC Audit N. Stauch 5/3/2024

Audit Work Plan GEC Review Audit

1 11. Existing minimun beyond t	2 10. <u>Construc</u>	1 9. Areas of expected	1 8 Property	2 7. Plan view	2 6. North ar	
Existing topography at one or two foot contour intervals. The map should extend a minimum of 10-feet beyond the property line for private development projects or beyond the project's land disturbance limits, whichever is larger.	Construction site boundaries – delineation of construction site boundaries. • Limits of construction, construction site boundary, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.	Areas of land disturbance – total area of the site where any construction activity is expected to result in land disturbance of the ground surface. Limits of disturbance, areas of land disturbance, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.	Property lines for the site on which the work will be performed. Property boundary, property line, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.	Plan view \rightarrow at a scale of 1-inch to 20-feet up to 1-inch to 50-feet. 1" = 30'	North arrow and bar scale	Signatures blocks are reviewed for general conformance. Unly signature blocks required by the SCM need to be included (for example, contractor signature is not needed on GEC Plan, even if the block is included).

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

1 17. Location of exist	2 16. Location of no-b • A note is	1 15. Location of soil: shown on the plant shown on the plant determined by the not result in add	1 14. Adjacent existing include ownersh • Adjacent affected	2 13. Location of any proportion of any proport	1 12. Proposed topog elevations and e Elevation the distribution	The existing limits. Exten
Location of existing or proposed water courses—to include, but not limited to, groundwater springs, streams, wetlands, or other surface waters, including areas where the COR400000 requires that pre-existing vegetation be maintained within 50 feet of a prociving water.	Location of no-build areas if indicated in a geologic hazard study. • A note is not needed if not applicable.	Location of soil stockpiles — Areas designated for topsoil and subsoil storage must be shown on the plan, or a note must be included indicating that stockpile location will be determined by the contractor. Stockpile locations to be determined by contractor must not result in additional land disturbance.	Adjacent existing and proposed development affected by the construction. Labels must include ownership information and address or tax schedule numbers. • Adjacent areas not affected by construction can be labeled as not being affected.	Location of any proposed features and structures on the site, including paved areas, retaining walls (including top and bottom of wall elevations), etc. Retaining wall elevations (top and bottom of wall) should be called out at least once per wall.	Proposed topography at one or two foot contour intervals. The map should show elevations and extent and the slope of all proposed grading. • Elevations and slope labels are optional. Proposed topography must extend to the disturbance limits, unless disturbed areas will remain at existing grade.	isting topography must extend at least to the project's disturbance Extending beyond disturbance areas is optional.

City of Colorado Springs Stormwater Enterprise



Audit Work Plan September 2021

G-144 GEC Audit N. Stauch 5/3/2024

Audit Work Plan GEC Review Audit

21. Location of staging areas — Staging area must be shown on the plan, or a note must be included indicating that staging area location will be determined by the contractor.	
location will be determined by the contractor. Concrete washouts must be shown at least 50' away from State Waters. Plans do not need to specify lined vs. unlined – that will be determined in the field.	
20. Location of concrete washout areas – Areas designated for concrete washout must be shown on the plan, or a note must be included indicating that concrete washout	_
 PCMs should be labeled with the type of PCM (EDB, sand filter, etc.). Details do not need to be included in the GEC Plan, as they are part of the PCM Plan. 	
 CCM abbreviations must match the CCM detail sheets, or be abbreviated in a clear manner if using an alternative control measure without an abbreviation on the detail sheet. CCM abbreviations should be shown in the legend. IP alone is sufficient – abbreviations on plan do not need to specify IP-2 (etc.). 	
19. Location of Construction Control Measures and Permanent Control Measures to be constructed as a part of the proposed work. Construction Control Measures must be indicated using clear symbology and labels including abbreviations that match the Construction Control Measure detail sheets.	<u> </u>
 Drainage features include storm conveyance infrastructure larger than 12" (inlets, pipes, manholes, outfalls). 	
18. Location of existing or proposed drainage features on and adjacent to the site.	→
 Ditches and small unnamed tributaries do not need to be labeled. If there is a question as to whether a water course is named or not, the naming is determined based on the SpringsView basemap layer. 	

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

 If utilities are shown, reviewer is not responsible for checking individual utility line placement. If standard utility line types are used, utility line types are not required to be shown in legend. Utility easements should be labeled. 	
27. Existing utility locations and easements - grading over existing utilities or within dedicated easements is restricted. Contact Colorado Springs Utilities or easement owner for additional information.	2
 A note is not needed if not applicable. If a site is completely in the Hillside Overlay, a note stating that is sufficient. 	
26. Boundaries of the City Hillside Overlay if applicable. Overlays do not need to be shown for capital projects.	2
Boundaries of the City Streamside Overlay if applicable. Overlays do not need to be shown for capital projects. A note is not needed if not applicable.	2
 24. Boundaries of the 100-yr floodplain, if applicable. N/A A note is not needed if not applicable. 	2
Location of any asphalt, concrete batch plants, and masonry mix stations, if applicable. A note is not needed if not applicable. N/A	
 22. Vegetation – existing vegetation to remain and proposed seeding areas. A note referencing the Landscaping Plan must be included on the GEC Plan if proposed vegetation will not be shown. The Landscaping Plan does not need to be specifically named, as long as the reference is present. 	_

City of Colorado Springs Stormwater Enterprise



Audit Work Plan September 2021

G-144 GEC Audit N. Stauch 5/3/2024

Audit Work Plan GEC Review Audit

	 Arrows should generally depict the direction of runoff – individual arrows can be slightly off if the majority of arrows are pointing in the correct direction. 	
	33. Flow arrows that depict stormwater flow directions. Arrows do not need to be located within the limits of the proposed grading if visibility is compromised by their inclusion.	_
	32. Receiving Waters - Name of closest named receiving waters.	_
	31. Expected date on which the final stabilization will be completed. • Can be combined with completion time period if both will occur at the same time.	٦
sed	Anticipated starting and completion time period of land disturbance. Time periods can specify month – specific date is not required instead of months Starting and completion time periods can be included on the same line	_
	 SCM details, additional COS details on the website, MHFD details, and approved alternative details on the City's website are all acceptable If a detail is not included, a reference to the details on the City's website is required 	
	Detail drawings of Construction Control Measures including installation and maintenance requirements. Details must match those provided in SCM Appendix E, or be approved through the alternative Construction Control Measure approval process. Additional CCM details can be included in the GEC Plan, but are not required.	<u>→</u>
	Locations of preservation easements, if applicable. A note is not needed if not applicable. N/A	2

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

- 34. Locations of all non-structural Control Measures. Nonstructural controls (like street sweeping) without a specific location may be described using notes.
- This item is passed if at least one nonstructural control measure is identified.

City of Colorado Springs Stormwater Enterprise



Appendix A3: GEC Review Performed by Jacobs



GEC Review Audit Report

Date: June 28, 2024 5555 Tech Center Dr, Suite 210 | Colorado Springs, CO 80919 **Project name:** Hancock Expressway Improvements

United States Client: City of Colorado Springs 0 +1.719.477.4942

Prepared by: Troy Slocum www.jacobs.com

1. **Draft Audit Report – Hancock Expressway Improvements Grading and Erosion Control (GEC)**

Documents Reviewed 1.1

The Hancock Expressway Improvements GEC Plans were provided to Jacobs to audit the City's review of the plans. This audit reviews the project GEC only and does not include the CSWMP or field inspections. Hancock Expressway is a Capital Improvement Project by the City of Colorado Springs.

The City's review of the GEC Plans followed standard City procedures.

This audit does not include the City's review and oversight of the installation and maintenance of permanent control measures or the City's compliance with Appendix A (Credit Table) and Appendix B (Verification of Functioning Control Measures) for Credited Measures.

1.2 **Correspondence / Communications**

Correspondence / communications with the City regarding the audit is limited to the task scope and transmission of the plans for review.

1.3 **Finding of Noncompliance**

The GEC review checklist was used to evaluate the project GEC plan. The Hancock Expressway Improvements GEC plans comply with the checklist requirements.

All Construction Control Measures (CCMs) appear to be appropriate for the site conditions and placed appropriately for the type of control measure.

2.3.3 **GEC Plan Checklist**

The GEC Plan shall include the following as a minimum. Clarification details are provided below each checklist item as necessary. Some items may not apply to a specific project; in that case, the checklist items are not required.

<u>Tier</u>	<u>Checklist Item</u>			
2	General vicinity map – Show the relationship of the site to existing and planned roadways, jurisdictional boundaries, major creeks, and streams.			
1	2. <u>Subdivision / Project name</u> – The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. Auditors will not be green checking the Final Subdivision Plat.			
	Auditors will not be cross-checking the Final Subdivision Plat.			
1 🗸	3. <u>Standard GEC Plan notes</u> – See SCM Appendix C.			
2	 4. Cost estimate of the Construction Control Measures including seeding and all installation and maintenance until final stabilization is achieved. A minimum of 40% of the total cost shall be added to the cost estimate for maintenance. A unit price list may be obtained from the Stormwater Enterprise. Cost estimates are not required for capital projects.			
	Names do not need to match exactly, as long as it's clear what the item is			



1	 5. <u>Signature blocks</u> – See SCM Appendix D. Contractor signature is not required prior to GEC Plan approval. Signatures blocks are reviewed for general conformance. Only signature blocks required by the SCM need to be included (for example, contractor signature is not needed on GEC Plan, even if the block is included).
2	6. North arrow and bar scale
2	7. <u>Plan view</u> – at a scale of 1-inch to 20-feet up to 1-inch to 50-feet.
1	 8. Property lines for the site on which the work will be performed. Property boundary, property line, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
1	 9. Areas of land disturbance – total area of the site where any construction activity is expected to result in land disturbance of the ground surface. Limits of disturbance, areas of land disturbance, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
2	 10. Construction site boundaries – delineation of construction site boundaries. Limits of construction, construction site boundary, etc. are all acceptable. Line may be combined with other delineations as long as it is labeled that way in the legend. Separate labels are not required.
1	11. Existing topography at one or two foot contour intervals. The map should extend a minimum of 10-feet beyond the property line for private development projects or beyond the project's land disturbance limits, whichever is larger.



	The existing topography must extend at least to the project's disturbance limits. Extending beyond disturbance areas is optional.
1	12. <u>Proposed topography</u> at one or two foot contour intervals. The map should show elevations and extent and the slope of all proposed grading.
V	Elevations and slope labels are optional. Proposed topography must extend to the disturbance limits, unless disturbed areas will remain at existing grade.
2	13. <u>Location of any proposed features and structures</u> on the site, including paved areas, retaining walls (including top and bottom of wall elevations), etc.
V	Retaining wall elevations (top and bottom of wall) should be called out at least once per wall.
1	14. <u>Adjacent existing and proposed development</u> affected by the construction. Labels must include ownership information and address or tax schedule numbers.
V	 Adjacent areas not affected by construction can be labeled as not being affected.
1	15. <u>Location of soil stockpiles</u> – Areas designated for topsoil and subsoil storage must be shown on the plan, or a note must be included indicating that stockpile location will be determined by the contractor. Stockpile locations to be determined by contractor must not result in additional land disturbance.
2	 16. Location of no-build areas if indicated in a geologic hazard study. No geologic hazard A note is not needed if not applicable. study for this project
1	17. Location of existing or proposed water courses – to include, but not limited to, groundwater springs, streams, wetlands, or other surface waters, including areas where the COR400000 requires that pre-existing vegetation be maintained within 50 feet of a receiving water.



	 Ditches and small unnamed tributaries do not need to be labeled. If there is a question as to whether a water course is named or not, the naming is determined based on the SpringsView basemap layer.
1	 18. Location of existing or proposed drainage features on and adjacent to the site. Drainage features include storm conveyance infrastructure larger than 12" (inlets, pipes, manholes, outfalls).
1	19. <u>Location of Construction Control Measures and Permanent Control Measures</u> to be constructed as a part of the proposed work. Construction Control Measures must be indicated using clear symbology and labels including abbreviations that match the Construction Control Measure detail sheets.
	 CCM abbreviations must match the CCM detail sheets, or be abbreviated in a clear manner if using an alternative control measure without an abbreviation on the detail sheet. CCM abbreviations should be shown in the legend. IP alone is sufficient – abbreviations on plan do not need to specify IP-2 (etc.). PCMs should be labeled with the type of PCM (EDB, sand filter, etc.). Details do not need to be included in the GEC Plan, as they are part of the PCM Plan.
1	 20. Location of concrete washout areas – Areas designated for concrete washout must be shown on the plan, or a note must be included indicating that concrete washout location will be determined by the contractor. Concrete washouts must be shown at least 50' away from State Waters. Plans do not need to specify lined vs. unlined – that will be determined in the field.
1 🗸	21. <u>Location of staging areas</u> – Staging area must be shown on the plan, or a note must be included indicating that staging area location will be determined by the contractor.



1	 22. <u>Vegetation</u> – existing vegetation to remain and proposed seeding areas. A note referencing the Landscaping Plan must be included on the GEC Plan if proposed vegetation will not be shown. The Landscaping Plan does not need to be specifically named, as long as the reference is present.
1	23. Location of any asphalt, concrete batch plants, and masonry mix stations, if applicable. • A note is not needed if not applicable.
2	24. <u>Boundaries of the 100-yr floodplain</u> , if applicable. • A note is not needed if not applicable. No 100-yr floodplain impacts in project area
2	 25. <u>Boundaries of the City Streamside Overlay</u>, if applicable. Overlays do not need to be shown for capital projects. A note is not needed if not applicable.
2	 26. <u>Boundaries of the City Hillside Overlay</u>, if applicable. Overlays do not need to be shown for capital projects. A note is not needed if not applicable. If a site is completely in the Hillside Overlay, a note stating that is sufficient.
2	 27. Existing utility locations and easements - grading over existing utilities or within dedicated easements is restricted. Contact Colorado Springs Utilities or easement owner for additional information. If utilities are shown, reviewer is not responsible for checking individual utility line placement. If standard utility line types are used, utility line types are not required to be shown in legend. Utility easements should be labeled.



2	28. <u>Locations of preservation easements</u> , if applicable. No preservation • A note is not needed if not applicable. easement needed
1	29. <u>Detail drawings of Construction Control Measures</u> including installation and maintenance requirements. Details must match those provided in SCM Appendix E, or be approved through the alternative Construction Control Measure approval process.
√	 Additional CCM details can be included in the GEC Plan, but are not required. SCM details, additional COS details on the website, MHFD details, and approved alternative details on the City's website are all acceptable If a detail is not included, a reference to the details on the City's website is required
1	 30. Anticipated starting and completion time period of land disturbance. Time periods can specify month – specific date is not required Starting and completion time periods can be included on the same line
1	 31. Expected date on which the final stabilization will be completed. Can be combined with completion time period if both will occur at the same time.
1 🗸	32. <u>Receiving Waters</u> – Name of closest named receiving waters.
1	 33. Flow arrows that depict stormwater flow directions. Arrows do not need to be located within the limits of the proposed grading if visibility is compromised by their inclusion. Arrows should generally depict the direction of runoff – individual arrows can be slightly off if the majority of arrows are pointing in the correct direction.





- 34. Locations of all non-structural Control Measures. Nonstructural controls (like street sweeping) without a specific location may be described using notes.
 - This item is passed if at least one nonstructural control measure is identified.



Appendix B1: CSWMP Selection

Table B	1: Selected CSWMP Reports reviewed		
CSWMP Number	Title of Report	District	Project Type
C-4	Powers UC Health OH to UG	Capital Project	Public Project
C-13	Loch Fyne Gas Main Installation	Capital Project	Public Project
C-20	Middle Tributary Force Main Wastewater Replacement Project	Capital Project	Public Project
C-22	CSU Pepperwood-Knotwood WMRP	Capital Project	Public Project
C-37	Burgerworks E Fillmore Street	Central	Commercial
C-44	Tommy's Express-1540 Garden of the Gods Rd. Lots 1 & 2, Market Center at the Garden Subdivision, Filing No. 3	Central	Commercial
C-58	Patriot Park Subdivision Filing No. 8	Central	Mixed Use / Other
C-73	Flying Horse No. 21 Filing No. 5	North	Commercial
C-86	Wolf Ranch Detention Basin F18 and F19	North	Mixed Use / Other
C-90	Highline at Wolf Ranch Filing No. 16	North	Single Family Residential
C-97	Peak Technology Campus – Building #2	South	Commercial
C-107	Phil Long Hyundai Development	South	Commercial
C-108	Kelker Substation Expansion	South	Industrial



Appendix B2: CSWMP Checklists

2.3.4 CSWMP Checklist

The CSWMP shall include the following items. When some sections are not applicable, include a statement to that effect.

For auditor – in general, if a CSWMP item is included in the GEC Plan and the GEC Plan is in the appendix of the CSWMP, that counts. CCM names don't need to match.

2			-1	1	<u>Tier</u>
4. Adjacent Areas – A description of neighboring areas such as streams, residential areas, roads, etc., which may be affected by the land disturbance.	 Signature Blocks – See SCM Appendix D. are the same. Crew is internal Signatures blocks are reviewed for general conformance (typos, etc. do not detract from the signature block). Only signature blocks required by the SCM need to be included. 	 Auditor does not check the plat subdivision name, as long as a name is provided. Capital projects and projects not associated with a subdivision can use a separate project name. 	 Subdivision / Project name - The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. 	1. Name, Address, Phone Number of the Permittee, GEC Administrator, and preparing engineer if applicable.	Checklist Item

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9.) GEC Administrator Certification – Include certificate of completion for City-sponsored Stormwater Management and Erosion Control During Construction class or approved equivalent.	
 At a minimum, should include self-inspection frequency (14 day with post- storm inspections or 7 day). 	
8.) Self-Inspections — A description of procedures and a schedule of regular inspections during construction for vegetation, erosion and sediment Control Measure repair, and other protective measures identified in the plan. Refer to SCM Chapter 6, Section 2.2 for specific self-inspection requirements.	_
 Nothing is required if this is not applicable, a note referencing the geotechnical report is sufficient if the report is included in the CSWMP appendix. 	
7. Soil Borings/Tests and Groundwater – Summary of soil borings and tests, including groundwater analysis and plan for safe discharge must be included if appropriate.	2
 A general description of the soils is sufficient. Reviewers aren't checking the specific soil types. Hydrologic Soil Group is not needed, and a WSS printout is not required. If included, a WSS printout fulfills this checklist item. 	
6. Soils - A brief description of the soils on the site including information on soil type and character.	
 A sentence or two describing construction phasing plans for sites over 30 acres. 	
5. Construction Phasing - Sites with land disturbance area greater than 30 acres must address construction phasing, including temporary stabilization methods for areas which will not be disturbed for 14 days at a time.	_
 A sentence with a broad description of the general area (residential, commercial, etc.) is acceptable. 	

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 If a CSWMP includes a paragraph or bullet list describing the control measure implementation, that is sufficient. The City is not required to review the content of the paragraph. 	
14. Implementation of Control Measures. The CSWMP must include design specifications that contain information on the implementation of the Control Measure in accordance with good engineering hydrologic and pollution control practices; including as applicable drawings, dimensions, installation information, materials, implementation processes, Control Measure-specific inspection expectations, and maintenance requirements. (City reviews for inclusion only)	_
 "As applicable" is open to interpretation. This item is fulfilled if the potential sources of pollution included or not included are reasonable, even if they do not match the Auditor's preference / interpretation. 	
 In general, a list of potential pollutants is sufficient – no additional explanation is needed. Only pollutants that are present on site need to be listed. 	
o Non-industrial waste sources such as worker trash and portable toilets.	
 Dedicated asphalt, concrete batch plants and masonry mixing stations; 	
 Concrete truck/equipment washing, including washing of the concrete truck chute and associated fixtures and equipment; (City reviews for inclusion only) 	
 On-site waste management practices (waste piles, liquid wastes, dumpsters); (City reviews for inclusion only) 	
 Routine maintenance activities involving fertilizers, pesticides, herbicides, detergents, fuels, solvents, oils, etc.; (City reviews for inclusion only) 	
 Significant dust or particulate generating processes (e.g., saw cutting material, including dust); (City reviews for inclusion only) 	
 Vehicle and equipment maintenance and fueling; (City reviews for inclusion only) 	

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control of the applicable construction site owner or operator. The applicable construction site owner or operator is responsible for ensuring that all Control Measures located outside of the construction site boundaries, that are being used by the applicable construction site, are properly maintained and in compliance with all terms and conditions of Part I.B.3. The CSWMP must include all information required of and relevant to any such Control Measures located outside the construction site boundaries, including location, installation specifications, design specifications and maintenance requirements. (City reviews for inclusion only)	
15. The CSWMP must include a documented use agreement between the applicable construction site owner or operator and the owner or operator of any Control Measures located outside of the construction site boundaries that are used by the applicable construction site for compliance with the GEC Plan, but not under the direct	N
 A reference to the GEC Plan is sufficient for design specs and details. GEC Plan does not need to be included in the CSWMP. Additional specs and details in the CSWMP are not required. 	

- (approval of GEC Plan approves disturbance in the ROW). If it's additional disturbance on City ROW, additional agreement isn't needed
- If it's additional disturbance on adjacent property, an email or letter should be (or email is sent) from the owner. included. The City does not review the letter or make sure the letter is signed

16. Site Description to include, at a minimum, the following:

2

- The nature of the construction activity at the site;
- This should include what is being built (apartment buildings, roadway project, etc.). It can be combined with the phasing description or a different part of the CSWMP.
- o The proposed schedule for the sequence for major construction activities and the planned implementation of Control Measures for each phase. (e.g.: clearing, grading, utilities, vertical, etc.);

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Specific dates are not needed. This should be a sequence description (first overlot grading, then road building, then vertical construction as an example).

 Estimates of the total acreage of the site, and the acreage expected to construction activities; be disturbed by clearing, excavation, grading, or any other

One disturbance number fulfills this requirement.

o A summary of any existing data used in the development of the construction site plans or CSWMP that describe the soil or existing potential for soil erosion; (City reviews for inclusion only);

This should be a sentence stating what data was used (or if there was no data). If WSS information is in the appendix, that counts without additional description in the narrative.

o A description of the percent of existing vegetative ground cover percentage; (City reviews for inclusion only); relative to the entire site and the method for determining the

This item is fulfilled if the CSWMP contains an estimate of existing cover.

 A description of any allowable non-stormwater discharges at the site, discharge guidance policy; (City reviews for inclusion only); including those being discharged under the applicable low risk

A list of other discharges is sufficient. If there are no other discharges, a note is not needed.

 A description of areas receiving discharge from the site. Including a the name of the entity owning that system, the location of the storm stormwater discharge is to a municipal separate storm sewer system, description of the immediate source receiving the discharge. If the inclusion only); and sewer discharge, and the ultimate receiving water(s); (City reviews for

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 Landscaping Plan does not need to be named, as long as there is a reference to the Landscaping Plan (project name is not needed). 		
17. Final Stabilization and Long Term Stormwater Management. The CSWMP must describe the practices used to achieve final stabilization of all disturbed areas at the site and any planned practices to control pollutants in stormwater discharges that will occur after construction operations are completed. This shall include, but is not limited to, Permanent Control Measures, etc. A reference to specifications and/or the site Landscaping Plan may fulfill this requirement, if applicable.	1	
 A sentence stating what offsite areas discharge to the site (if any) is sufficient. A receiving water should be listed, but City does not review for accuracy. Additional information on downstream drainage system is not needed. A description of all stream crossings located within the construction site boundary. Needed for all named stream crossings (based on SpringsView naming). A note is not required if no stream crossings are present in the project area. 		

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2.3.4 CSWMP Checklist

The CSWMP shall include the following items. When some sections are not applicable, include a statement to that effect.

For auditor – in general, if a CSWMP item is included in the GEC Plan and the GEC Plan is in the appendix of the CSWMP, that counts. CCM names don't need to match.

2	_	1	_	<u>Tier</u>
 Adjacent Areas – A description of neighboring areas such as streams, residential areas, roads, etc., which may be affected by the land disturbance. 	 3. Signature Blocks – See SCM Appendix D. • Signatures blocks are reviewed for general conformance (typos, etc. do not detract from the signature block). Only signature blocks required by the SCM need to be included. 	2. Subdivision / Project_name — The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. • Auditor does not check the plat subdivision name, as long as a name is provided. Capital projects and projects not associated with a subdivision can use a separate project name.	 Name, Address, Phone Number of the Permittee, GEC Administrator, and preparing engineer if applicable. 	Checklist Item

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9. <u>GEC Administrator Certification</u> Include certificate of completion for City-sponsored Stormwater Management and Erosion Control During Construction class or approved equivalent.		
 At a minimum, should include self-inspection frequency (14 day with post- storm inspections or 7 day). 		
8. Self Inspections—A description of procedures and a schedule of regular inspections during construction for vegetation, erosion and sediment Control Measure repair, and other protective measures identified in the plan. Refer to SCM Chapter 6, Section 2.2 for specific self-inspection requirements.		
 Nothing is required if this is not applicable, a note referencing the geotechnical report is sufficient if the report is included in the CSWMP appendix. 		
 Soil Borings/Tests and Groundwater – Summary of soil borings and tests, including groundwater analysis and plan for safe discharge must be included if appropriate. 		2
 A general description of the soils is sufficient. Reviewers aren't checking the specific soil types. Hydrologic Soil Group is not needed, and a WSS printout is not required. If included, a WSS printout fulfills this checklist item. 		
6. $\frac{Soils}{}$ A brief description of the soils on the site including information on soil type and character.		
 A sentence or two describing construction phasing plans for sites over 30 acres. 		
 Construction Phasing – Sites with land disturbance area greater than 30 acres must address construction phasing, including temporary stabilization methods for areas which will not be disturbed for 14 days at a time. 	n/a	
 A sentence with a broad description of the general area (residential, commercial, etc.) is acceptable. 		

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 Outdoor storage activities (erodible building materials, fertilizers, chemicals, etc.); (City reviews for inclusion only) 	
 Loading and unloading operations: (City reviews for inclusion only) 	
 Management of contaminated soils; (City reviews for inclusion only) 	
 Vehicle tracking of sediments; 	
 Disturbed and stored soils; 	
13. Potential Sources of Pollution. The CSWMP must list all potential sources of pollution which may reasonably be expected to affect the quality of stormwater discharges associated with construction activity from the site. This shall include, but is not limited to, the following pollutant sources as applicable:	_
 A materials handling approach must be provided (can be contained within the CSWMP text). The description should be at least a paragraph (or a few bullets) long. The description itself is not reviewed. 	
12. Materials Handling. The CSWMP must describe all Control Measures implemented at the site to minimize impacts from handling significant materials that could contribute pollutants to runoff. These handling procedures can include Control Measures for pollutants and activities such as exposed storage of building materials, paints and solvents, landscape materials, fertilizers or chemicals, sanitary waste material, trash and equipment maintenance or fueling procedures. (City reviews for inclusion only)	N
 A plan must be provided (can be contained within the CSWMP text). Should be at least a paragraph (or a few bullets) long. The plan itself is not reviewed. 	
11. Spill Prevention and Response Plan. (City reviews for inclusion only)	2
10. Designation of a Qualified Stormwater Manager, who can be the same as the GEC Administrator.	1
 Only required for CSWMPs approved after 7/1. Equivalents are approved with the CSWMP approval (not a separate approval process). 	

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 If a CSWMP includes a paragraph or bullet list describing the control measure implementation, that is sufficient. The City is not required to review the content of the paragraph. 	
14. Implementation of Control Measures. The CSWMP must include design specifications that contain information on the implementation of the Control Measure in accordance with good engineering hydrologic and pollution control practices; including as applicable drawings, dimensions, installation information, materials, implementation processes, Control Measure-specific inspection expectations, and maintenance requirements. (City reviews for inclusion only)	
 "As applicable" is open to interpretation. This item is fulfilled if the potential sources of pollution included or not included are reasonable, even if they do not match the Auditor's preference / interpretation. 	
 In general, a list of potential pollutants is sufficient – no additional explanation is needed. Only pollutants that are present on site need to be listed. 	
o Non-industrial waste sources such as worker trash and portable toilets.	
 Dedicated asphalt, concrete batch plants and masonry mixing stations; 	
 Concrete truck/equipment washing, including washing of the concrete truck chute and associated fixtures and equipment; (City reviews for inclusion only) 	
 On-site waste management practices (waste piles, liquid wastes, dumpsters); (City reviews for inclusion only) 	
 Routine maintenance activities involving fertilizers, pesticides, herbicides, detergents, fuels, solvents, oils, etc.; (City reviews for inclusion only) 	
 Significant dust or particulate generating processes (e.g., saw cutting material, including dust); (City reviews for inclusion only) 	
 Vehicle and equipment maintenance and fueling; (City reviews for inclusion only) 	

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 The proposed schedule for the sequence for major construction activities and the planned implementation of Control Measures for each phase. (e.g.: clearing, grading, utilities, vertical, etc.); 	
 This should include what is being built (apartment buildings, roadway project, etc.). It can be combined with the phasing description or a different part of the CSWMP. 	
 The nature of the construction activity at the site; 	
16. Site Description to include, at a minimum, the following:	2
 If it's additional disturbance on adjacent property, an email or letter should be included. The City does not review the letter or make sure the letter is signed (or email is sent) from the owner. 	
 If it's additional disturbance on City ROW, additional agreement isn't needed (approval of GEC Plan approves disturbance in the ROW). 	
construction site owner or operator and the owner or operator of any Control Measures located outside of the construction site boundaries that are used by the applicable construction site for compliance with the GEC Plan, but not under the direct control of the applicable construction site owner or operator. The applicable construction site owner or operator is responsible for ensuring that all Control Measures located outside of the construction site boundaries, that are being used by the applicable construction site, are properly maintained and in compliance with all terms and conditions of Part I.B.3. The CSWMP must include all information required of and relevant to any such Control Measures located outside the construction site boundaries, including location, installation specifications, design specifications and maintenance requirements. (City reviews for inclusion only)	n/a
15. The CSWMP must include a documented use agreement between the applicable	2
 A reference to the GEC Plan is sufficient for design specs and details. GEC Plan does not need to be included in the CSWMP. Additional specs and details in the CSWMP are not required. 	

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		•
vertical construction as an example).	description (first overlot grading, then road building, then	Specific dates are not needed. This should be a sequence

- Estimates of the total acreage of the site, and the acreage expected to be disturbed by clearing, excavation, grading, or any other construction activities;
- One disturbance number fulfills this requirement.
- A summary of any existing data used in the development of the construction site plans or CSWMP that describe the soil or existing potential for soil erosion; (City reviews for inclusion only);
- This should be a sentence stating what data was used (or if there was no data). If WSS information is in the appendix, that counts without additional description in the narrative.
- A description of the percent of existing vegetative ground cover relative to the entire site and the method for determining the percentage; (City reviews for inclusion only);
- This item is fulfilled if the CSWMP contains an estimate of existing cover.
- A description of any allowable non-stormwater discharges at the site, including those being discharged under the applicable low risk discharge guidance policy; (City reviews for inclusion only):
- A list of other discharges is sufficient. If there are no other discharges, a note is not needed.
- A description of areas receiving discharge from the site. Including a description of the immediate source receiving the discharge. If the stormwater discharge is to a municipal separate storm sewer system, the name of the entity owning that system, the location of the storm sewer discharge, and the ultimate receiving water(s); (City reviews for inclusion only); and

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 Landscaping Plan does not need to be named, as long as there is a reference to the Landscaping Plan (project name is not needed). 	
site and any planned practices to control pollutants in stormwater discharges that will occur after construction operations are completed. This shall include, but is not limited to, Permanent Control Measures, etc. A reference to specifications and/or the site Landscaping Plan may fulfill this requirement, if applicable.	
17. Final Stabilization and Long Term Stormwater Management. The CSWMP must describe the practices used to achieve final stabilization of all disturbed areas at the	1
 Needed for all named stream crossings (based on SpringsView naming). A note is not required if no stream crossings are present in the project area. 	
\circ A description of all stream crossings located within the construction site boundary.	
 A sentence stating what offsite areas discharge to the site (if any) is sufficient. A receiving water should be listed, but City does not review for accuracy. Additional information on downstream drainage system is not needed. 	

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2.3.4 CSWMP Checklist

The CSWMP shall include the following items. When some sections are not applicable, include a statement to that effect.

For auditor – in general, if a CSWMP item is included in the GEC Plan and the GEC Plan is in the appendix of the CSWMP, that counts. CCM names don't need to match.

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 GEC Administrator Certification – Include certificate of completion for City-sponsored Stormwater Management and Erosion Control During Construction class or approved equivalent. 	_
 At a minimum, should include self-inspection frequency (14 day with post- storm inspections or 7 day). 	
8. Self-Inspections — A description of procedures and a schedule of regular inspections during construction for vegetation, erosion and sediment Control Measure repair, and other protective measures identified in the plan. Refer to SCM Chapter 6, Section 2.2 for specific self-inspection requirements.	_
 Nothing is required if this is not applicable, a note referencing the geotechnical report is sufficient if the report is included in the CSWMP appendix. 	
 Soil Borings/Tests and Groundwater – Summary of soil borings and tests, including groundwater analysis and plan for safe discharge must be included if appropriate. 	2
 A general description of the soils is sufficient. Reviewers aren't checking the specific soil types. Hydrologic Soil Group is not needed, and a WSS printout is not required. If included, a WSS printout fulfills this checklist item. 	
6. $\frac{\text{Soils} - A}{\text{orief}}$ description of the soils on the site including information on soil type and character.	n/a
 A sentence or two describing construction phasing plans for sites over 30 acres. 	
 Construction Phasing - Sites with land disturbance area greater than 30 acres must address construction phasing, including temporary stabilization methods for areas which will not be disturbed for 14 days at a time. 	
 A sentence with a broad description of the general area (residential, commercial, etc.) is acceptable. 	

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 Outdoor storage activities (erodible building materials, fertilizers, chemicals, etc.); (City reviews for inclusion only) 	
 Loading and unloading operations; (City reviews for inclusion only) 	
o Management of contaminated soils; (City reviews for inclusion only)	
Vehicle tracking of sediments;	
o Disturbed and stored soils;	
13. Potential Sources of Pollution. The CSWMP must list all potential sources of pollution which may reasonably, be expected to affect the quality of stormwater discharges associated with construction activity from the site. This shall include, but is not limited to, the following pollutant sources as applicable:	_
 A materials handling approach must be provided (can be contained within the CSWMP text). The description should be at least a paragraph (or a few bullets) long. The description itself is not reviewed. 	
12. Materials Handling. The CSWMP must describe all Control Measures implemented at the site to minimize impacts from handling significant materials that could contribute pollutants to runoff. These handling procedures can include Control Measures for pollutants and activities such as exposed storage of building materials, paints and solvents, landscape materials, fertilizers or chemicals, sanitary waste material, trash and equipment maintenance or fueling procedures. (City reviews for inclusion only)	2
 A plan must be provided (can be contained within the CSWMP text). Should be at least a paragraph (or a few bullets) long. The plan itself is not reviewed. 	
11. Spill Prevention and Response Plan. (City reviews for inclusion only)	2
10. Designation of a Qualified Stormwater Manager, who can be the same as the GEC Administrator.	
 Only required for CSWMPs approved after 7/1. Equivalents are approved with the CSWMP approval (not a separate approval process). 	

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 If a CSWMP includes a paragraph or bullet list describing the control measure implementation, that is sufficient. The City is not required to review the content of the paragraph. 	
14_Implementation of Control Measures. The CSWMP must include design specifications that contain information on the implementation of the Control Measure in accordance with good engineering hydrologic and pollution control practices; including as applicable drawings, dimensions, installation information, materials, implementation processes, Control Measure-specific inspection expectations, and maintenance requirements. (City reviews for inclusion only)	_
 "As applicable" is open to interpretation. This item is fulfilled if the potential sources of pollution included or not included are reasonable, even if they do not match the Auditor's preference / interpretation. 	
 In general, a list of potential pollutants is sufficient – no additional explanation is needed. Only pollutants that are present on site need to be listed. 	
o Non-industrial waste sources such as worker trash and portable toilets.	
 Dedicated asphalt, concrete batch plants and masonry mixing stations; 	
 Concrete truck/equipment washing, including washing of the concrete truck chute and associated fixtures and equipment; (City reviews for inclusion only) 	
 On-site waste management practices (waste piles, liquid wastes, dumpsters); (City reviews for inclusion only) 	
 Routine maintenance activities involving fertilizers, pesticides, herbicides, detergents, fuels, solvents, oils, etc.; (City reviews for inclusion only) 	
 Significant dust or particulate generating processes (e.g., saw cutting material, including dust); (City reviews for inclusion only) 	
 Vehicle and equipment maintenance and fueling; (City reviews for inclusion only) 	

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- Specific dates are not needed. This should be a sequence description (first overlot grading, then road building, then vertical construction as an example).
- Estimates of the total acreage of the site, and the acreage expected to be disturbed by clearing, excavation, grading, or any other construction activities;
- One disturbance number fulfills this requirement.
- A summary of any existing data used in the development of the construction site plans or CSWMP that describe the soil or existing potential for soil erosion; (City reviews for inclusion only);
- This should be a sentence stating what data was used (or if there was no data). If WSS information is in the appendix, that counts without additional description in the narrative.
- A description of the percent of existing vegetative ground cover relative to the entire site and the method for determining the percentage; (City reviews for inclusion only);
- This item is fulfilled if the CSWMP contains an estimate of existing cover.
- A description of any allowable non-stormwater discharges at the site, including, those being discharged under the applicable low risk discharge guidance policy; (City reviews for inclusion only);
- A list of other discharges is sufficient. If there are no other discharges, a note is not needed.
- A description of areas receiving discharge from the site. Including a
 description of the immediate source receiving the discharge. If the
 stormwater discharge is to a municipal separate storm sewer system,
 the name of the entity owning that system, the location of the storm
 sewer discharge, and the ultimate receiving water(s); (City reviews for
 inclusion only); and

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describe the practices used to achieve final stabilization of all disturbed areas at the site and any planned practices to control pollutants in stormwater discharges that will occur after construction operations are completed. This shall include, but is not limited to, Permanent Control Measures, etc. A reference to specifications and/or the site Landscaping Plan may fulfill this requirement, if applicable.	17. Final Stabilization and Long Term Stormwater Management. The CSWMP must	crossings are present in the project area	 Needed for all named stream of springstylew naming). A note is not it. 	 A description of all stream crossings located within the construction site boundary. 	does not review for accuracy. Additional downstream drainage system is not needed.	any) is sufficient. A receiving water sho	A sentence stating what offsite areas d
I stabilization of all disturbed areas at the ollurants in stormwater discharges that wil pleted. This shall include, but is not limited reference to specifications and/or the site t. if applicable.	water Management. The CSWMP must	ent in the project area.	Needed for all named stream crossings (based on SpringsView naming). A note is not required if no stream	crossings located within the construction	does not review for accuracy. Additional information on downstream drainage system is not needed.	any) is sufficient. A receiving water should be listed, but City	A sentence stating what offsite areas discharge to the site (if

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2.3.4 CSWMP Checklist

The CSWMP shall include the following items. When some sections are not applicable, include a statement to

For auditor – in general, if a CSWMP item is included in the GEC Plan and the GEC Plan is in the appendix of the CSWMP, that counts. CCM names don't need to match.

2			_	1	<u>Tier</u>
 Adjacent Areas — A description of neighboring areas such as streams, residential areas, roads, etc., which may be affected by the land disturbance. 	3. Signature Blocks – See SCM Appendix D. • Signatures blocks are reviewed for general conformance (typos, etc. do not detract from the signature block). Only signature blocks required by the SCM need to be included.	 Auditor does not check the plat subdivision name, as long as a name is provided. Capital projects and projects not associated with a subdivision can use a separate project name. 	 Subdivision / Project name – The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. 	 Name Address, Phone Number of the Permittee, GEC Administrator, and preparing engineer if applicable. 	Checklist Item

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9. <u>GEC Administrator Certification</u> – Include certificate of completion for City-sponsored Stormwater Management and Erosion Control During Construction class or approved equivalent.	
 At a minimum, should include self-inspection frequency (14 day with post- storm inspections or 7 day). 	
8. <u>Self-Inspections</u> – A description of procedures and a schedule of regular inspections during construction for vegetation, erosion and sediment Control Measure repair, and other protective measures identified in the plan. Refer to SCM Chapter 6, Section 2.2 for specific self-inspection requirements.	1
 Nothing is required if this is not applicable, a note referencing the geotechnical report is sufficient if the report is included in the CSWMP appendix. 	
7. Soil Borings/Tests and Groundwater – Summary of soil borings and tests, including groundwater analysis and plan for safe discharge must be included if appropriate.	2 n/a
 A general description of the soils is sufficient. Reviewers aren't checking the specific soil types. Hydrologic Soil Group is not needed, and a WSS printout is not required. If included, a WSS printout fulfills this checklist item. 	
6. <u>Soils</u> – A brief description of the soils on the site including information on soil type and character.	
 A sentence or two describing construction phasing plans for sites over 30 acres. 	
5. Construction Phasing – Sites with land disturbance area greater than 30 acres must address construction phasing, including temporary stabilization methods for areas which will not be disturbed for 14 days at a time.	_
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 Outdoor storage activities (erodible building materials, fertilizers, chemicals, etc.); (City reviews for inclusion only) 		
 Loading and unloading operations: (City reviews for inclusion only) 		
 Management of contaminated soils, (City reviews for inclusion only) 		
 Vehicle tracking of sediments; 		
 Disturbed and stored soils; 		
13. Potential Sources of Pollution. The CSWMP must list all potential sources of pollution which may reasonably be expected to affect the quality of stormwater discharges associated with construction activity from the site. This shall include, but is not limited to, the following pollutant sources as applicable:	_	
 A materials handling approach must be provided (can be contained within the CSWMP text). The description should be at least a paragraph (or a few bullets) long. The description itself is not reviewed. 		
pollutants to runoff. These handling procedures can include Control Measures for pollutants and activities such as exposed storage of building materials, paints and solvents, landscape materials, fertilizers or chemicals, sanitary waste material, trash and equipment maintenance or fueling procedures. (City reviews for inclusion only)		
12. Materials Handling—The CSWMP must describe all Control Measures implemented at the site to minimize impacts from handling significant materials that could contribute	2	
 A plan must be provided (can be contained within the CSWMP text). Should be at least a paragraph (or a few bullets) long. The plan itself is not reviewed. 		
11. Spill Prevention and Response Plan. (City reviews for inclusion only)	2	
10. Designation of a Qualified Stormwater Manager, who can be the same as the GEC Administrator.	1	
Only required for CSWMPs approved after 7/1. Equivalents are approved with the CSWMP approval (not a separate approval process).	5/6/2024	
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o Vehicle and eq inclusion only) nce and fueling; (City reviews for

o Significant dust or particulate generating processes (e.g., saw cutting material, including dust); (City reviews for inclusion only)

 Routine maintenance activities involving fertilizers, pesticides, inclusion only) herbicides, detergents, fuels, solvents, oils, etc.; (City reviews for

 On-site waste management practices (waste piles, liquid wastes, dumpsters); (City reviews for inclusion only)

Concrete truck/equipment washing, including washing of the concrete inclusion only) truck chute and associated fixtures and equipment; (City reviews for

Dedicated asphalt, concrete batch plants and masonry mixing stations;

Non-industrial waste sources such as worker trash and portable toilets.

In general, a list of potential pollutants is sufficient – no additional explanation is needed. Only pollutants that are present on site need to be listed.

"As applicable" is open to interpretation. This item is fulfilled if the potential sources of pollution included or not included are reasonable, even if they do not match the Auditor's preference / interpretation.

14. Implementation of Control Measures. The CSWMP must include design specifications applicable drawings, dimensions, installation information, materials, implementation with good engineering hydrologic and pollution control practices; including as that contain information on the implementation of the Control Measure in accordance requirements. (City reviews for inclusion only) processes, Control Measure-specific inspection expectations, and maintenance

If a CSWMP includes a paragraph or bullet list describing the control measure content of the paragraph. implementation, that is sufficient. The City is not required to review the

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2 _C. Burlison_ 5/6/2024 15. The CSWMP must include a documented use agreement between the applicable boundaries, including location, installation specifications, design specifications and of and relevant to any such Control Measures located outside the construction site Measures located outside of the construction site boundaries, that are being used by construction site owner or operator is responsible for ensuring that all Control control of the applicable construction site owner or operator. The applicable applicable construction site for compliance with the GEC Plan, but not under the direct Measures located outside of the construction site boundaries that are used by the construction site owner or operator and the owner or operator of any Control maintenance requirements. (City reviews for inclusion only) terms and conditions of Part I.B.3. The CSWMP must include all information required the applicable construction site, are properly maintained and in compliance with all in the CSWMP are not required. Plan does not need to be included in the CSWMP. Additional specs and details A reference to the GEC Plan is sufficient for design specs and details. GEC

- If it's additional disturbance on City ROW, additional agreement isn't needed (approval of GEC Plan approves disturbance in the ROW).
- If it's additional disturbance on adjacent property, an email or letter should be included. The City does not review the letter or make sure the letter is signed (or email is sent) from the owner.
- 2
- 16. Site Description to include, at a minimum, the following:
- The nature of the construction activity at the site;
- This should include what is being built (apartment buildings, roadway project, etc.). It can be combined with the phasing description or a different part of the CSWMP.
- The proposed schedule for the sequence for major construction activities and the planned implementation of Control Measures for each phase. (e.g.: clearing, grading, utilities, vertical, etc.);

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Specific dates are not needed. This should be a sequence description (first overlot grading, then road building, then vertical construction as an example).

- Estimates of the total acreage of the site, and the acreage expected to be disturbed by clearing, excavation, grading, or any other construction activities:
- One disturbance number fulfills this requirement.
- A summary of any existing data used in the development of the construction site plans or CSWMP that describe the soil or existing potential for soil erosion; (City reviews for inclusion only);
- This should be a sentence stating what data was used (or if there was no data). If WSS information is in the appendix, that counts without additional description in the narrative.

A description of the percent of existing vegetative ground cover

relative to the entire site and the method for determining the

- percentage; (City reviews for inclusion only);
 This item is fulfilled if the CSWMP contains an estimate of existing cover.
- A description of any allowable non-stormwater discharges at the site, including those being discharged under the applicable low risk discharge guidance policy; (City reviews for inclusion only);
- A list of other discharges is sufficient. If there are no other discharges, a note is not needed.
- A description of areas receiving discharge from the site. Including a
 description of the immediate source receiving the discharge. If the
 stormwater discharge is to a municipal separate storm sewer system,
 the name of the entity owning that system, the location of the storm
 sewer discharge, and the ultimate receiving water(s); (City reviews for
 inclusion only); and

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• A sentence stating what offsi

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12		5/6/2024	C. Dullison
17 Final Stabilization and Long Term Stormwater Management. The CSWMP must describe the practices used to achieve final stabilization of all disturbed areas at the site and any planned practices to control pollutants in stormwater discharges that will occur after construction operations are completed. This shall include, but is not limited to, Permanent Control Measures, etc. A reference to specifications and/or the site Landscaping Plan may fulfill this requirement, if applicable.	site boundary. • Needed for all named stream crossings (based on SpringsView naming). A note is not required if no stream crossings are present in the project area.	 A sentence stating what offsite areas discharge to the site (if any) is sufficient. A receiving water should be listed, but City does not review for accuracy. Additional information on downstream drainage system is not needed. A description of all stream crossings located within the construction 	

Landscaping Plan does not need to be named, as long as there is a reference to the Landscaping Plan (project name is not needed).

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2.3.4 CSWMP Checklist

The CSWMP shall include the following items. When some sections are not applicable, include a statement to that effect.

For auditor – in general, if a CSWMP item is included in the GEC Plan and the GEC Plan is in the appendix of the CSWMP, that counts. CCM names don't need to match.

2	_	_		<u>Tier</u>
4. Adjacent Areas – A description of neighboring areas such as streams, residential areas, roads, etc., which may be affected by the land disturbance.	Signature Blocks – See SCM Appendix D. Signatures blocks are reviewed for general conformance (typos, etc. do not detract from the signature block). Only signature blocks required by the SCM need to be included.	 2. Subdivision / Project name - The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. Auditor does not check the plat subdivision name, as long as a name is provided. Capital projects and projects not associated with a subdivision can use a separate project name. 	1. Name, Address, Phone Number of the Permittee, GEC Administrator, and preparing engineer if applicable.	Checklist Item

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 GEC Administrator Certification – Include certificate of completion for City-sponsored Stormwater Management and Erosion Control During Construction class or approved equivalent. 	7
 At a minimum, should include self-inspection frequency (14 day with post- storm inspections or 7 day). 	
8. Self-Inspections - A description of procedures and a schedule of regular inspections during construction for vegetation, erosion and sediment Control Measure repair, and other protective measures identified in the plan. Refer to SCM Chapter 6, Section 2.2 for specific self-inspection requirements.	-1
 Nothing is required if this is not applicable, a note referencing the geotechnical report is sufficient if the report is included in the CSWMP appendix. 	
7. Soil Borings/Tests and Groundwater – Summary of soil borings and tests, including groundwater analysis and plan for safe discharge must be included if appropriate.	2
 A general description of the soils is sufficient. Reviewers aren't checking the specific soil types. Hydrologic Soil Group is not needed, and a WSS printout is not required. If included, a WSS printout fulfills this checklist item. 	
6. Soils + A brief description of the soils on the site including information on soil type and character.	_
 A sentence or two describing construction phasing plans for sites over 30 acres. 	
5. Construction Phasing – Sites with land disturbance area greater than 30 acres must address construction phasing, including temporary stabilization methods for areas which will not be disturbed for 14 days at a time.	-1
 A sentence with a broad description of the general area (residential, commercial, etc.) is acceptable. 	

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		2	2	1 10.	
 Vehicle tracking of sediments; Management of contaminated soils; (City reviews for inclusion only) Loading and unloading operations; (City reviews for inclusion only) Outdoor storage activities (erodible building materials, fertilizers, chemicals, etc.); (City reviews for inclusion only) 	Potential Sources of Pollution. The CSWMP must list all potential sources of pollution which may reasonably be expected to affect the quality of stormwater discharges associated with construction activity from the site. This shall include, but is not limited to, the following pollutant sources as applicable: • Disturbed and stored soils;	Materials Handling. The CSWMP must describe all Control Measures implemented at the site to minimize impacts from handling significant materials that could contribute pollutants to runoff. These handling procedures can include Control Measures for pollutants and activities such as exposed storage of building materials, paints and solvents, landscape materials, fertilizers or chemicals, sanitary waste material, trash and equipment maintenance or fueling procedures. (City reviews for inclusion only.) • A materials handling approach must be provided (can be contained within the CSWMP text). The description should be at least a paragraph (or a few bullets) long. The description itself is not reviewed.	Spill Prevention and Response Plan. (City reviews for inclusion only) A plan must be provided (can be contained within the CSWMP text). Should be at least a paragraph (or a few bullets) long. The plan itself is not reviewed.	Designation of a Qualified Stormwater Manager, who can be the same as the GEC Administrator,	 Only required for CSWMPs approved after 7/1. Equivalents are approved with the CSWMP approval (not a separate approval process).

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14. Implement that contain with good applicable processes, requirement in in cor	• Ir			
Implementation of Control Measures. The CSWMP must include design specifications that contain information on the implementation of the Control Measure in accordance with good engineering hydrologic and pollution control practices; including as applicable drawings, dimensions, installation information, materials, implementation processes, Control Measure-specific inspection expectations, and maintenance requirements. (City reviews for inclusion only) If a CSWMP includes a paragraph or bullet list describing the control measure implementation, that is sufficient. The City is not required to review the content of the paragraph.	 Non-industrial waste sources such as worker trash and portable toilets. In general, a list of potential pollutants is sufficient – no additional explanation is needed. Only pollutants that are present on site need to be listed. "As applicable" is open to interpretation. This item is fulfilled if the potential sources of pollution included or not included are reasonable, even if they do not match the Auditor's preference / interpretation. 	o Concrete truck/equipment washing, including washing of the concrete truck chute and associated fixtures and equipment; (City reviews for inclusion only) O Dedicated asphalt, concrete batch plants and masonry mixing stations;	 Significant dust or particulate generating processes (e.g., saw cutting material, including dust); (City reviews for inclusion only) Routine maintenance activities involving fertilizers, pesticides, herbicides, detergents, fuels, solvents, oils, etc.; (City reviews for inclusion only) On-site waste management practices (waste piles, liquid wastes, 	 Vehicle and equipment maintenance and fueling; (City reviews for inclusion only)

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construction site owner or operator is responsible for ensuring that all Control Measures located outside of the construction site boundaries, that are being used by the applicable construction site, are properly maintained and in compliance with all terms and conditions of Part I.B.3. The CSWMP must include all information required of and relevant to any such Control Measures located outside the construction site boundaries, including location, installation specifications, design specifications and maintenance requirements. (City reviews for inclusion only)	
15. The CSWMP must include a documented use agreement between the applicable construction site owner or operator and the owner or operator of any Control Measures located outside of the construction site boundaries that are used by the applicable construction site for compliance with the GEC Plan, but not under the direct control of the applicable construction site owner or operator. The applicable	2
 A reference to the GEC Plan is sufficient for design specs and details. GEC Plan does not need to be included in the CSWMP. Additional specs and details in the CSWMP are not required. 	

- If it's additional disturbance on City ROW, additional agreement isn't needed (approval of GEC Plan approves disturbance in the ROW).
- If it's additional disturbance on adjacent property, an email or letter should be included. The City does not review the letter or make sure the letter is signed (or email is sent) from the owner.

2

16. Site Description to include, at a minimum, the following:

- The nature of the construction activity at the site;
- This should include what is being built (apartment buildings, roadway project, etc.). It can be combined with the phasing description or a different part of the CSWMP.
- The proposed schedule for the sequence for major construction activities and the planned implementation of Control Measures for each phase. (e.g.: clearing, grading, utilities, vertical, etc.);

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		•
vertical construction as an example).	description (first overlot grading, then road building, then	Specific dates are not needed. This should be a sequence

- Estimates of the total acreage of the site, and the acreage expected to be disturbed by clearing, excavation, grading, or any other construction activities;
- One disturbance number fulfills this requirement.
- A summary of any existing data used in the development of the construction site plans or CSWMP that describe the soil or existing potential for soil erosion; (City reviews for inclusion only);
- This should be a sentence stating what data was used (or if there was no data). If WSS information is in the appendix, that counts without additional description in the narrative.
- A description of the percent of existing vegetative ground cover relative to the entire site and the method for determining the percentage; (City reviews for inclusion only);
- This item is fulfilled if the CSWMP contains an estimate of existing cover.
- A description of any allowable non-stormwater discharges at the site, including those being discharged under the applicable low risk discharge guidance policy; (City reviews for inclusion only);
- A list of other discharges is sufficient. If there are no other discharges, a note is not needed.
- A description of areas receiving discharge from the site. Including a
 description of the immediate source receiving the discharge. If the
 stormwater discharge is to a municipal separate storm sewer system,
 the name of the entity owning that system, the location of the storm
 sewer discharge, and the ultimate receiving water(s); (City reviews for
 inclusion only); and

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site and any planned practices to control pollutants in stormwater discharges that will occur after construction operations are completed. This shall include, but is not limited to, Permanent Control Measures, etc. A reference to specifications and/or the site Landscaping Plan may fulfill this requirement, if applicable.		
17. Final Stabilization and Long Term Stormwater Management. The CSWMP must describe the practices used to achieve final stabilization of all disturbed areas at the	_	
 Needed for all named stream crossings (based on SpringsView naming). A note is not required if no stream crossings are present in the project area. 		
 A description of all stream crossings located within the construction site boundary. 		
 A sentence stating what offsite areas discharge to the site (if any) is sufficient. A receiving water should be listed, but City does not review for accuracy. Additional information on downstream drainage system is not needed. 		

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2.3.4 **CSWMP Checklist**

The CSWMP shall include the following items. When some sections are not applicable, include a statement to that effect.

For auditor – in general, if a CSWMP item is included in the GEC Plan and the GEC Plan is in the appendix of the CSWMP, that counts. CCM names don't need to match.

2	1		_	1	<u>Tier</u>
 Adjacent Areas — A description of neighboring areas such as streams, residential areas, roads, etc., which may be affected by the land disturbance. 	Signature Blocks – See SCM Appendix D. Signatures blocks are reviewed for general conformance (typos, etc. do not detract from the signature block). Only signature blocks required by the SCM need to be included.	 Auditor does not check the plat subdivision name, as long as a name is provided. Capital projects and projects not associated with a subdivision can use a separate project name. 	 Subdivision / Project name - The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. 	1. Name, Address, Phone Number of the Permittee, GEC Administrator, and preparing engineer if applicable.	Checklist Item

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2 00 Self-Inspections – A description of procedures and a schedule of regular inspections Soil Borings/Tests and Groundwater – Summary of soil borings and tests, including Soils - A brief description of the soils on the site including information on soil type and Stormwater Management and Erosion Control During Construction class or approved GEC Administrator Certification – Include certificate of completion for City-sponsored during construction for vegetation, erosion and sediment Control Measure repair, and groundwater analysis and plan for safe discharge must be included if appropriate. equivalent. other protective measures identified in the plan. Refer to SCM Chapter 6, Section 2.2 character. which will not be disturbed for 14 days at a time. Construction Phasing – Sites with land disturbance area greater than 30 acres must for specific self-inspection requirements. address construction phasing, including temporary stabilization methods for areas At a minimum, should include self-inspection frequency (14 day with post-Nothing is required if this is not applicable, a note referencing the geotechnical A general description of the soils is sufficient. Reviewers aren't checking the A sentence or two describing construction phasing plans for sites over 30 A sentence with a broad description of the general area (residential, specific soil types. Hydrologic Soil Group is not needed, and a WSS printout storm inspections or 7 day). report is sufficient if the report is included in the CSWMP appendix is not required. If included, a WSS printout fulfills this checklist item. commercial, etc.) is acceptable.

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 Outdoor storage activities (erodible building materials, chemicals, etc.); (City reviews for inclusion only) 	
 Management of contaminated soils; (City reviews for inclusion only) Loading and unloading operations; (City reviews for inclusion only) 	
 Vehicle tracking of sediments; 	
o Disturbed and stored soils;	
13. Potential Sources of Pollution. The CSWMP must list all potential sources of pollution which may reasonably be expected to affect the quality of stormwater discharges associated with construction activity from the site. This shall include, but is not limited to, the following pollutant sources as applicable:	_
 A materials handling approach must be provided (can be contained within the CSWMP text). The description should be at least a paragraph (or a few bullets) long. The description itself is not reviewed. 	
pollutants to runoff. These handling procedures can include Control Measures for pollutants and activities such as exposed storage of building materials, paints and solvents, landscape materials, fertilizers or chemicals, sanitary waste material, trash and equipment maintenance or fueling procedures. (City reviews for inclusion only)	
12. Materials Handling. The CSWMP must describe all Control Measures implemented at the site to minimize impacts from handling significant materials that could contribute	2
 A plan must be provided (can be contained within the CSWMP text). Should be at least a paragraph (or a few bullets) long. The plan itself is not reviewed. 	
11. Spill Prevention and Response Plan. (City reviews for inclusion only)	2
10. Designation of a Qualified Stormwater Manager, who can be the same as the GEC Administrator.	1
 Only required for CSWMPs approved after 7/1. Equivalents are approved with the CSWMP approval (not a separate approval process). 	

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 If a CSWMP includes a paragraph or bullet list describing the control measure implementation, that is sufficient. The City is not required to review the content of the paragraph. 	
14. Implementation of Control Measures. The CSWMP must include design specifications that contain information on the implementation of the Control Measure in accordance with good engineering hydrologic and pollution control practices; including as applicable drawings, dimensions, installation information, materials, implementation processes, Control Measure-specific inspection expectations, and maintenance requirements. (City reviews for inclusion only)	_
 "As applicable" is open to interpretation. This item is fulfilled if the potential sources of pollution included or not included are reasonable, even if they do not match the Auditor's preference / interpretation. 	
 In general, a list of potential pollutants is sufficient – no additional explanation is needed. Only pollutants that are present on site need to be listed. 	
 Dedicated asphalt, concrete batch plants and masonry mixing stations; Non-industrial waste sources such as worker trash and portable toilets. 	
 Concrete truck/equipment washing, including washing of the concrete truck chute and associated fixtures and equipment; (City reviews for inclusion only) 	
 On-site waste management practices (waste piles, liquid wastes, dumpsters); (City reviews for inclusion only) 	
 Routine maintenance activities involving fertilizers, pesticides, herbicides, detergents, fuels, solvents, oils, etc.; (City reviews for inclusion only) 	
 Significant dust or particulate generating processes (e.g., saw cutting material, including dust); (City reviews for inclusion only) 	
 Vehicle and equipment maintenance and fueling; (City reviews for inclusion only) 	

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maintenance requirements. (City reviews for inclusion only)	
boundaries, including location, installation specifications, design specifications and	
of and relevant to any such Control Measures located outside the construction site	
terms and conditions of Part I.B.3. The CSWMP must include all information required	
the applicable construction site, are properly maintained and in compliance with all	
Measures located outside of the construction site boundaries, that are being used by	
construction site owner or operator is responsible for ensuring that all Control	
control of the applicable construction site owner or operator. The applicable	
applicable construction site for compliance with the GEC Plan, but not under the direct	
Measures located outside of the construction site boundaries that are used by the	
construction site owner or operator and the owner or operator of any Control	
15. The CSWMP must include a documented use agreement between the applicable	2
in the CSWMP are not required.	
Plan does not need to be included in the CSWMP. Additional specs and details	
 A reference to the GEC Plan is sufficient for design specs and details. GEC 	

- If it's additional disturbance on City ROW, additional agreement isn't needed (approval of GEC Plan approves disturbance in the ROW).
- If it's additional disturbance on adjacent property, an email or letter should be included. The City does not review the letter or make sure the letter is signed (or email is sent) from the owner.

2

16. Site Description to include, at a minimum, the following:

- The nature of the construction activity at the site;
- This should include what is being built (apartment buildings, roadway project, etc.). It can be combined with the phasing description or a different part of the CSWMP.
- The proposed schedule for the sequence for major construction activities and the planned implementation of Control Measures for each phase. (e.g.: clearing, grading, utilities, vertical, etc.);

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		•
vertical construction as an example).	description (first overlot grading, then road building, then	Specific dates are not needed. This should be a sequence

- Estimates of the total acreage of the site, and the acreage expected to be disturbed by clearing, excavation, grading, or any other construction activities;
- One disturbance number fulfills this requirement.
- A summary of any existing data used in the development of the construction site plans or CSWMP that describe the soil or existing potential for soil erosion; (City reviews for inclusion only);
- This should be a sentence stating what data was used (or if there was no data). If WSS information is in the appendix, that counts without additional description in the narrative.
- A description of the percent of existing vegetative ground cover relative to the entire site and the method for determining the percentage; (City reviews for inclusion only);
- This item is fulfilled if the CSWMP contains an estimate of existing cover.
- A description of any allowable non-stormwater discharges at the site, including those being discharged under the applicable low risk discharge guidance policy; (City reviews for inclusion only);
- A list of other discharges is sufficient. If there are no other discharges, a note is not needed.
- A description of areas receiving discharge from the site. Including a
 description of the immediate source receiving the discharge. If the
 stormwater discharge is to a municipal separate storm sewer system,
 the name of the entity owning that system, the location of the storm
 sewer discharge, and the ultimate receiving water(s); (City reviews for
 inclusion only); and

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 Landscaping Plan does not need to be named, as long as there is a reference to the Landscaping Plan (project name is not needed). 		
17. Final Stabilization and Long Term Stormwater Management. The CSWMP must describe the practices used to achieve final stabilization of all disturbed areas at the site and any planned practices to control pollurants in stormwater discharges that will occur after construction operations are completed. This shall include, but is not limited to, Permanent Control Measures, etc. A reference to specifications and/or the site Landscaping Plan may fulfill this requirement, if applicable.	1	
A sentence stating what offsite areas discharge to the site (if any) is sufficient. A receiving water should be listed, but City does not review for accuracy. Additional information on downstream drainage system is not needed. A description of all stream crossings located within the construction site boundary. Needed for all named stream crossings (based on SpringsView naming). A note is not required if no stream crossings are present in the project area.		

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2.3.4 CSWMP Checklist

The CSWMP shall include the following items. When some sections are not applicable, include a statement to that effect.

For auditor – in general, if a CSWMP item is included in the GEC Plan and the GEC Plan is in the appendix of the CSWMP, that counts. CCM names don't need to match.

2	_	1		<u>Tier</u>
 Adjacent Areas – A description of neighboring areas such as streams, residential areas, roads, etc., which may be affected by the land disturbance. 	3. Signature Blocks Signatures blocks are reviewed for general conformance (typos, etc. do not detract from the signature block). Only signature blocks required by the SCM need to be included.	 Subdivision / Project name - The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. Auditor does not check the plat subdivision name, as long as a name is provided. Capital projects and projects not associated with a subdivision can use a separate project name. 	1. Name, Address, Phone Number of the Permittee, GEC Administrator, and preparing engineer if applicable.	<u>Checklist Item</u>

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 GEC Administrator Certification – Include certificate of completion for City-sponsored Stormwater Management and Erosion Control During Construction class or approved equivalent. 	
 At a minimum, should include self-inspection frequency (14 day with post- storm inspections or 7 day). 	
8.) Self-Inspections — A description of procedures and a schedule of regular inspections during construction for vegetation, erosion and sediment Control Measure repair, and other protective measures identified in the plan. Refer to SCM Chapter 6, Section 2.2 for specific self-inspection requirements.	_
 Nothing is required if this is not applicable, a note referencing the geotechnical report is sufficient if the report is included in the CSWMP appendix. 	
7.) Soil Borings/Tests and Groundwater – Summary of soil borings and tests, including groundwater analysis and plan for safe discharge must be included if appropriate.	2
 A general description of the soils is sufficient. Reviewers aren't checking the specific soil types. Hydrologic Soil Group is not needed, and a WSS printout is not required. If included, a WSS printout fulfills this checklist item. 	
$\frac{6.)}{\text{Soils}}$ A brief description of the soils on the site including information on soil type and character.	
 A sentence or two describing construction phasing plans for sites over 30 acres. 	
5. Construction Phasing - Sites with land disturbance area greater than 30 acres must address construction phasing, including temporary stabilization methods for areas which will not be disturbed for 14 days at a time.	_
 A sentence with a broad description of the general area (residential, commercial, etc.) is acceptable. 	

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 Outdoor storage activities (erodible building materials, fertilizers, chemicals, etc.); (City reviews for inclusion only) 	
o Loading and unloading operations; (City reviews for inclusion only)	
o Management of contaminated soils; (City reviews for inclusion only)	
 Vehicle tracking of sediments; 	
o Disturbed and stored soils;	
13. Potential Sources of Pollution. The CSWMP must list all potential sources of pollution which may reasonably be expected to affect the quality of stormwater discharges associated with construction activity from the site. This shall include, but is not limited to, the following pollutant sources as applicable:	1
 A materials handling approach must be provided (can be contained within the CSWMP text). The description should be at least a paragraph (or a few bullets) long. The description itself is not reviewed. 	
pollutants and activities such as exposed storage of building materials, paints and solvents, landscape materials, fertilizers or chemicals, sanitary waste material, trash and equipment maintenance or fueling procedures. (City reviews for inclusion only)	
12. Materials Handling. The CSWMP must describe all Control Measures implemented at the site to minimize impacts from handling significant materials that could contribute pollutants to runoff. These handling procedures can include Control Measures for	2
 A plan must be provided (can be contained within the CSWMP text). Should be at least a paragraph (or a few bullets) long. The plan itself is not reviewed. 	
11. Spill Prevention and Response Plan. (City reviews for inclusion only)	2
10. Designation of a Qualified Stormwater Manager, who can be the same as the GEC Administrator.	1
 Only required for CSWMPs approved after 7/1. Equivalents are approved with the CSWMP approval (not a separate approval process). 	

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 If a CSWMP includes a paragraph or bullet list describing the control measure implementation, that is sufficient. The City is not required to review the content of the paragraph. 	
14. Implementation of Control Measures. The CSWMP must include design specifications that contain information on the implementation of the Control Measure in accordance with good engineering hydrologic and pollution control practices; including as applicable drawings, dimensions, installation information, materials, implementation processes, Control Measure-specific inspection expectations, and maintenance requirements. (City reviews for inclusion only)	-1
 "As applicable" is open to interpretation. This item is fulfilled if the potential sources of pollution included or not included are reasonable, even if they do not match the Auditor's preference / interpretation. 	
 In general, a list of potential pollutants is sufficient – no additional explanation is needed. Only pollutants that are present on site need to be listed. 	
 Non-industrial waste sources such as worker trash and portable toilets. 	
 Dedicated asphalt, concrete batch plants and masonry mixing stations; 	
 Concrete truck/equipment washing, including washing of the concrete truck chute and associated fixtures and equipment; (City reviews for inclusion only) 	
 On-site waste management practices (waste piles, liquid wastes, dumpsters); (City reviews for inclusion only) 	
 Routine maintenance activities involving fertilizers, pesticides, herbicides, detergents, fuels, solvents, oils, etc.; (City reviews for inclusion only) 	
 Significant dust or particulate generating processes (e.g., saw cutting material, including dust); (City reviews for inclusion only) 	
\circ Vehicle and equipment maintenance and fueling; (City reviews for inclusion only)	

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	2	
Measures located outside of the construction site owner or operator is responsible for ensuring that all Control Measures located outside of the construction site boundaries, that are being used by the applicable construction site, are properly maintained and in compliance with all terms and conditions of Part I.B.3. The CSWMP must include all information required of and relevant to any such Control Measures located outside the construction site boundaries, including location, installation specifications, design specifications and maintenance requirements. (City reviews for inclusion only)	15. The CSWMP must include a documented use agreement between the applicable construction site owner or operator and the owner or operator of any Control Measures located outside of the construction site boundaries that are used by the applicable construction site for compliance with the GEC Plan, but not under the direct control of the applicable construction site owner or operator. The applicable	 A reference to the GEC Plan is sufficient for design specs and details. GEC Plan does not need to be included in the CSWMP. Additional specs and details in the CSWMP are not required.

- If it's additional disturbance on City ROW, additional agreement isn't needed (approval of GEC Plan approves disturbance in the ROW).
- If it's additional disturbance on adjacent property, an email or letter should be included. The City does not review the letter or make sure the letter is signed (or email is sent) from the owner.

2

16. Site Description to include, at a minimum, the following:

- The nature of the construction activity at the site;
- This should include what is being built (apartment buildings, roadway project, etc.). It can be combined with the phasing description or a different part of the CSWMP.
- The proposed schedule for the sequence for major construction activities and the planned implementation of Control Measures for each phase. (e.g.: clearing, grading, utilities, vertical, etc.);

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 Specific dates are not needed. This should be a sequence description (first overlot grading, then road building, then vertical construction as an example).

 Estimates of the total acreage of the site, and the acreage expected to be disturbed by clearing, excavation, grading, or any other construction activities;

One disturbance number fulfills this requirement.

 A summary of any existing data used in the development of the construction site plans or CSWMP that describe the soil or existing potential for soil erosion; (City reviews for inclusion only);

 This should be a sentence stating what data was used (or if there was no data). If WSS information is in the appendix, that counts without additional description in the narrative.

relative to the entire site and the method for determining the percentage; (City reviews for inclusion only);

This item is fulfilled if the CSWMP contains an estimate of

o A description of the percent of existing vegetative ground cover

 This item is fulfilled if the CSWMP contains an estimate of existing cover.

 A description of any allowable non-stormwater discharges at the site, including those being discharged under the applicable low risk discharge guidance policy; (City reviews for inclusion only);

 A list of other discharges is sufficient. If there are no other discharges, a note is not needed.

A description of areas receiving discharge from the site. Including a
description of the immediate source receiving the discharge. If the
stormwater discharge is to a municipal separate storm sewer system,
the name of the entity owning that system, the location of the storm
sewer discharge, and the ultimate receiving water(s); (City reviews for
inclusion only); and

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2.3.4 CSWMP Checklist

The CSWMP shall include the following items. When some sections are not applicable, include a statement to that effect.

For auditor – in general, if a CSWMP item is included in the GEC Plan and the GEC Plan is in the appendix of the CSWMP, that counts. CCM names don't need to match.

2 4.	3	-		Tier Checklist Item
Adjacent Areas — A description of neighboring areas such as streams, residential areas, roads, etc., which may be affected by the land disturbance.	Signature Blocks — See SCM Appendix D. Signatures blocks are reviewed for general conformance (typos, etc. do not detract from the signature block). Only signature blocks required by the SCM need to be included.	Subdivision / rigiect name - The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. • Auditor does not check the plat subdivision name, as long as a name is provided. Capital projects and projects not associated with a subdivision can use a separate project name.	1. Name, Address, Phone Number of the Permittee, GEC Administrator, and preparing engineer if applicable.	st Item

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 GEC Administrator Certification – Include certificate of completion for City-sponsored Stormwater Management and Erosion Control During Construction class or approved equivalent. 	1
 At a minimum, should include self-inspection frequency (14 day with post- storm inspections or 7 day). 	
8.) Self-Inspections— A description of procedures and a schedule of regular inspections during construction for vegetation, erosion and sediment Control Measure repair, and other protective measures identified in the plan. Refer to SCM Chapter 6, Section 2.2 for specific self-inspection requirements.	_
 Nothing is required if this is not applicable, a note referencing the geotechnical report is sufficient if the report is included in the CSWMP appendix. 	
7.) Soil Borings/Tests and Groundwater – Summary of soil borings and tests, including groundwater analysis and plan for safe discharge must be included if appropriate.	2
 A general description of the soils is sufficient. Reviewers aren't checking the specific soil types. Hydrologic Soil Group is not needed, and a WSS printout is not required. If included, a WSS printout fulfills this checklist item. 	
6. Soils + A brief description of the soils on the site including information on soil type and character.	_
 A sentence or two describing construction phasing plans for sites over 30 acres. 	
5. Construction Phasing – Sites with land disturbance area greater than 30 acres must address construction phasing, including temporary stabilization methods for areas which will not be disturbed for 14 days at a time.	
 A sentence with a broad description of the general area (residential, commercial, etc.) is acceptable. 	

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 Outdoor storage activities (erodible building materials, fertilizers, chemicals, etc.); (City reviews for inclusion only) 	
 Loading and unloading operations; (City reviews for inclusion only) 	
o Management of contaminated soils; (City reviews for inclusion only)	
 Vehicle tracking of sediments; 	
 Disturbed and stored soils; 	
13. Potential Sources of Pollution. The CSWMP must list all potential sources of pollution which may reasonably be expected to affect the quality of stormwater discharges associated with construction activity from the site. This shall include, but is not limited to, the following pollutant sources as applicable:	_
 A materials handling approach must be provided (can be contained within the CSWMP text). The description should be at least a paragraph (or a few bullets) long. The description itself is not reviewed. 	
pollutants and activities such as exposed storage of building materials, paints and solvents, landscape materials, fertilizers or chemicals, sanitary waste material, trash and equipment maintenance or fueling procedures. (City reviews for inclusion only)	
12. Materials Handling. The CSWMP must describe all Control Measures implemented at the site to minimize impacts from handling significant materials that could contribute pollutants to runoff. These handling procedures can include Control Measures for	2
 A plan must be provided (can be contained within the CSWMP text). Should be at least a paragraph (or a few bullets) long. The plan itself is not reviewed. 	
11. Spill Prevention and Response Plan. (City reviews for inclusion only)	2
10. Designation of a Qualified Stormwater Manager, who can be the same as the GEC Administrator.	1
 Only required for CSWMPs approved after 7/1. Equivalents are approved with the CSWMP approval (not a separate approval process). 	

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	<u> </u>									
	14. Implementation of Control Measures. The CSWMP must include design specifications	 "As applicable" is open to interpretation. This item is fulfilled if the potential sources of pollution included or not included are reasonable, even if they do not match the Auditor's preference / interpretation. 	 In general, a list of potential pollutants is sufficient – no additional explanation is needed. Only pollutants that are present on site need to be listed. 	\circ Non-industrial waste sources such as worker trash and portable toilets.	o Dedicated asphalt, concrete batch plants and masonry mixing stations;	 Concrete truck/equipment washing, including washing of the concrete truck chute and associated fixtures and equipment; (City reviews for inclusion only) 	 On-site waste management practices (waste piles, liquid wastes, dumpsters); (City reviews for inclusion only) 	 Routine maintenance activities involving fertilizers, pesticides, herbicides, detergents, fuels, solvents, oils, etc.; (City reviews for inclusion only) 	 Significant dust or particulate generating processes (e.g., saw cutting material, including dust); (City reviews for inclusion only) 	 Vehicle and equipment maintenance and fueling; (City reviews for inclusion only)

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construction site owner or operator is responsible for ensuring that all Control Measures located outside of the construction site boundaries, that are being used by the applicable construction site, are properly maintained and in compliance with all terms and conditions of Part I.B.3. The CSWMP must include all information required of and relevant to any such Control Measures located outside the construction site boundaries, including location, installation specifications, design specifications and maintenance requirements. (City reviews for inclusion only)	
15. The CSWMP must include a documented use agreement between the applicable construction site owner or operator and the owner or operator of any Control Measures located outside of the construction site boundaries that are used by the applicable construction site for compliance with the GEC Plan, but not under the direct control of the applicable construction site owner or operator. The applicable	2
 A reference to the GEC Plan is sufficient for design specs and details. GEC Plan does not need to be included in the CSWMP. Additional specs and details in the CSWMP are not required. 	

- If it's additional disturbance on City ROW, additional agreement isn't needed (approval of GEC Plan approves disturbance in the ROW).
- If it's additional disturbance on adjacent property, an email or letter should be included. The City does not review the letter or make sure the letter is signed (or email is sent) from the owner.

2

16. Site Description to include, at a minimum, the following:

- The nature of the construction activity at the site;
- This should include what is being built (apartment buildings, roadway project, etc.). It can be combined with the phasing description or a different part of the CSWMP.
- The proposed schedule for the sequence for major construction activities and the planned implementation of Control Measures for each phase. (e.g.: clearing, grading, utilities, vertical, etc.);

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Specific dates are not needed. This should be a sequence description (first overlot grading, then road building, then vertical construction as an example).

- Estimates of the total acreage of the site, and the acreage expected to be disturbed by clearing, excavation, grading, or any other construction activities;
- One disturbance number fulfills this requirement.
- A summary of any existing data used in the development of the construction site plans or CSWMP that describe the soil or existing potential for soil erosion; (City reviews for inclusion only);
- This should be a sentence stating what data was used (or if there was no data). If WSS information is in the appendix, that counts without additional description in the narrative.
- A description of the percent of existing vegetative ground cover relative to the entire site and the method for determining the percentage; (City reviews for inclusion only);
- This item is fulfilled if the CSWMP contains an estimate of existing cover.
- A description of any allowable non-stormwater discharges at the site, including those being discharged under the applicable low risk discharge guidance policy; (City reviews for inclusion only);
- A list of other discharges is sufficient. If there are no other discharges, a note is not needed.
- A description of areas receiving discharge from the site. Including a
 description of the immediate source receiving the discharge. If the
 stormwater discharge is to a municipal separate storm sewer system,
 the name of the entity owning that system, the location of the storm
 sewer discharge, and the ultimate receiving water(s); (City reviews for
 inclusion only); and

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 Landscaping Plan does not need to be named, as long as there is a reference to the Landscaping Plan (project name is not needed). 	
17. Final Stabilization and Long Term Stormwater Management. The CSWMP must describe the practices used to achieve final stabilization of all disturbed areas at the site and any planned practices to control pollutants in stormwater discharges that will occur after construction operations are completed. This shall include, but is not limited to, Permanent Control Measures, etc. A reference to specifications and/or the site Landscaping Plan may fulfill this requirement, if applicable.	-1
 Needed for all named stream crossings (based on SpringsView naming). A note is not required if no stream crossings are present in the project area. 	
\circ A description of all stream crossings located within the construction site boundary.	
 A sentence stating what offsite areas discharge to the site (if any) is sufficient. A receiving water should be listed, but City does not review for accuracy. Additional information on downstream drainage system is not needed. 	

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2.3.4 CSWMP Checklist

The CSWMP shall include the following items. When some sections are not applicable, include a statement to

For auditor – in general, if a CSWMP item is included in the GEC Plan and the GEC Plan is in the appendix of the CSWMP, that counts. CCM names don't need to match.

Tier	Checklist Item 1. Name, Address, Phone Number of the Permittee, GEC Administrator, and preparing engineer if applicable.
1	2.) Subdivision / Project name — The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name.
	 Auditor does not check the plat subdivision name, as long as a name is provided. Capital projects and projects not associated with a subdivision can use a separate project name.
1	3. Signature Blocks – See SCM Appendix D.
	 Signatures blocks are reviewed for general conformance (typos, etc. do not detract from the signature block). Only signature blocks required by the SCM need to be included.
2	4. Adjacent Areas — A description of neighboring areas such as streams, residential areas, roads, etc., which may be affected by the land disturbance.

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9. GEC Administrator Certification – Include certificate of completion for City-sponsored Stormwater Management and Erosion Control During Construction class or approved equivalent.	1
 At a minimum, should include self-inspection frequency (14 day with post- storm inspections or 7 day). 	
8. Self-Inspections — A description of procedures and a schedule of regular inspections during construction for vegetation, erosion and sediment Control Measure repair, and other protective measures identified in the plan. Refer to SCM Chapter 6, Section 2.2 for specific self-inspection requirements.	_
 Nothing is required if this is not applicable, a note referencing the geotechnical report is sufficient if the report is included in the CSWMP appendix. 	
7. Soil Borings/Tests and Groundwater – Summary of soil borings and tests, including groundwater analysis and plan for safe discharge must be included if appropriate.	2
 A general description of the soils is sufficient. Reviewers aren't checking the specific soil types. Hydrologic Soil Group is not needed, and a WSS printout is not required. If included, a WSS printout fulfills this checklist item. 	
$\frac{6.}{900}$ $\frac{100}{100}$ A brief description of the soils on the site including information on soil type and character.	
 A sentence or two describing construction phasing plans for sites over 30 acres. 	
5. Construction Phasing – Sites with land disturbance area greater than 30 acres must address construction phasing, including temporary stabilization methods for areas which will not be disturbed for 14 days at a time.	_
 A sentence with a broad description of the general area (residential, commercial, etc.) is acceptable. 	

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 Outdoor storage activities (erodible building materials, fertilizers, 		
o Loading and unloading operations; (City reviews for inclusion only)		
o Management of contaminated soils; (City reviews for inclusion only)		
 Vehicle tracking of sediments; 		
 Disturbed and stored soils; 		
13. Potential Sources of Pollution. The CSWMP must list all potential sources of pollution which may reasonably be expected to affect the quality of stormwater discharges associated with construction activity from the site. This shall include, but is not limited to, the following pollutant sources as applicable:	_	
 A materials handling approach must be provided (can be contained within the CSWMP text). The description should be at least a paragraph (or a few bullets) long. The description itself is not reviewed. 		
pollutants and activities such as exposed storage of building materials, paints and solvents, landscape materials, fertilizers or chemicals, sanitary waste material, trash and equipment maintenance or fueling procedures. (City reviews for inclusion only)		
12. Materials Handling. The CSWMP must describe all Control Measures implemented at the site to minimize impacts from handling significant materials that could contribute pollutants to runoff. These handling procedures can include Control Measures for	2	
 A plan must be provided (can be contained within the CSWMP text). Should be at least a paragraph (or a few bullets) long. The plan itself is not reviewed. 		
11. Spill Prevention and Response Plan. (City reviews for inclusion only)	2	
10. Designation of a Qualified Stormwater Manager, who can be the same as the GEC Administrator.		
 Only required for CSWMPs approved after 7/1. Equivalents are approved with the CSWMP approval (not a separate approval process). 		$\overline{}$

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with good engineering hydrologic and pollution control practices; including as applicable drawings, dimensions, installation information, materials, implementation processes, Control Measure-specific inspection expectations, and maintenance requirements. (City reviews for inclusion only.) If a CSWMP includes a paragraph or bullet list describing the control measure implementation, that is sufficient. The City is not required to review the content of the paragraph.	
sources of pollution included or not included are reasonable, even if they do not match the Auditor's preference / interpretation. 14. Implementation of Control Measures. The CSWMP must include design specifications that contain information on the implementation of the Control Measures.	
 In general, a list of potential pollutants is sufficient – no additional explanation is needed. Only pollutants that are present on site need to be listed. "As applicable" is open to interpretation. This item is fulfilled if the potential 	
 Dedicated asphalt, concrete batch plants and masonry mixing stations; Non-industrial waste sources such as worker trash and portable toilets. 	
 Concrete truck/equipment washing, including washing of the concrete truck chute and associated fixtures and equipment; (City reviews for inclusion only) 	
o On-site waste management practices (waste piles, liquid wastes, dumpsters); (City reviews for inclusion only)	
 Routine maintenance activities involving fertilizers, pesticides, herbicides, detergents, fuels, solvents, oils, etc.; (City reviews for inclusion only) 	
 Significant dust or particulate generating processes (e.g., saw cutting material, including dust); (City reviews for inclusion only) 	
 Vehicle and equipment maintenance and fueling; (City reviews for inclusion only) 	

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construction site owner or operator is responsible for ensuring that all Control Measures located outside of the construction site boundaries, that are being used by the applicable construction site, are properly maintained and in compliance with all terms and conditions of Part I.B.3. The CSWMP must include all information required of and relevant to any such Control Measures located outside the construction site boundaries, including location, installation specifications, design specifications and maintenance requirements. (City reviews for inclusion only)	
15. The CSWMP must include a documented use agreement between the applicable construction site owner or operator and the owner or operator of any Control Measures located outside of the construction site boundaries that are used by the applicable construction site for compliance with the GEC Plan, but not under the direct control of the applicable construction site owner or operator. The applicable	2
 A reference to the GEC Plan is sufficient for design specs and details. GEC Plan does not need to be included in the CSWMP. Additional specs and details in the CSWMP are not required. 	

- If it's additional disturbance on City ROW, additional agreement isn't needed (approval of GEC Plan approves disturbance in the ROW).
- If it's additional disturbance on adjacent property, an email or letter should be included. The City does not review the letter or make sure the letter is signed (or email is sent) from the owner.

2

16. Site Description to include, at a minimum, the following:

- The nature of the construction activity at the site;
- This should include what is being built (apartment buildings, roadway project, etc.). It can be combined with the phasing description or a different part of the CSWMP.
- The proposed schedule for the sequence for major construction activities and the planned implementation of Control Measures for each phase. (e.g.: clearing, grading, utilities, vertical, etc.);

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Specific dates are not needed. This should be a sequence description (first overlot grading, then road building, then vertical construction as an example).

- Estimates of the total acreage of the site, and the acreage expected to be disturbed by clearing, excavation, grading, or any other construction activities;
- One disturbance number fulfills this requirement.
- A summary of any existing data used in the development of the construction site plans or CSWMP that describe the soil or existing potential for soil erosion; (City reviews for inclusion only);
- This should be a sentence stating what data was used (or if there was no data). If WSS information is in the appendix, that counts without additional description in the narrative.
- A description of the percent of existing vegetative ground cover relative to the entire site and the method for determining the percentage; (City reviews for inclusion only);
- This item is fulfilled if the CSWMP contains an estimate of existing cover.
- A description of any allowable non-stormwater discharges at the site, including those being discharged under the applicable low risk discharge guidance policy; (City reviews for inclusion only);
- A list of other discharges is sufficient. If there are no other discharges, a note is not needed.
- A description of areas receiving discharge from the site. Including a
 description of the immediate source receiving the discharge. If the
 stormwater discharge is to a municipal separate storm sewer system,
 the name of the entity owning that system, the location of the storm
 sewer discharge, and the ultimate receiving water(s); (City reviews for
 inclusion only); and

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2.3.4 CSWMP Checklist

The CSWMP shall include the following items. When some sections are not applicable, include a statement to that effect.

For auditor – in general, if a CSWMP item is included in the GEC Plan and the GEC Plan is in the appendix of the CSWMP, that counts. CCM names don't need to match.

2	_	1		<u>Tier</u>
 Adjacent Areas – A description of neighboring areas such as streams, residential areas, roads, etc., which may be affected by the land disturbance. 	3. Signature Blocks Signatures blocks are reviewed for general conformance (typos, etc. do not detract from the signature block). Only signature blocks required by the SCM need to be included.	 Subdivision / Project name - The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. Auditor does not check the plat subdivision name, as long as a name is provided. Capital projects and projects not associated with a subdivision can use a separate project name. 	1. Name, Address, Phone Number of the Permittee, GEC Administrator, and preparing engineer if applicable.	<u>Checklist Item</u>

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 GEC Administrator Certification – Include certificate of completion for City-sponsored Stormwater Management and Erosion Control During Construction class or approved equivalent. 	1
 At a minimum, should include self-inspection frequency (14 day with post- storm inspections or 7 day). 	
8. Self-Inspections - A description of procedures and a schedule of regular inspections during construction for vegetation, erosion and sediment Control Measure repair, and other protective measures identified in the plan. Refer to SCM Chapter 6, Section 2.2 for specific self-inspection requirements.	1
 Nothing is required if this is not applicable, a note referencing the geotechnical report is sufficient if the report is included in the CSWMP appendix. 	
7. Soil Borings/Tests and Groundwater – Summary of soil borings and tests, including groundwater analysis and plan for safe discharge must be included if appropriate.	2
 A general description of the soils is sufficient. Reviewers aren't checking the specific soil types. Hydrologic Soil Group is not needed, and a WSS printout is not required. If included, a WSS printout fulfills this checklist item. 	
6. Soils + A brief description of the soils on the site including information on soil type and character.	
 A sentence or two describing construction phasing plans for sites over 30 acres. 	
5. Construction Phasing – Sites with land disturbance area greater than 30 acres must address construction phasing, including temporary stabilization methods for areas which will not be disturbed for 14 days at a time.	1
 A sentence with a broad description of the general area (residential, commercial, etc.) is acceptable. 	

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1 13. Potential Sources of Pollution. The CSWMP must list all potential sources of pollution which may reasonably be expected to affect the quality of stormwater discharge associated with construction activity from the site. This shall include, but is not limite to, the following pollutant sources as applicable: Disturbed and stored soils; Vehicle tracking of sediments; Management of contaminated soils; (City reviews for inclusion only) Loading and unloading operations; (City reviews for inclusion only) Outdoor storage activities (erodible building materials, fertilizer chemicals, etc.); (City reviews for inclusion only)	2 12. Materials Handling. The site to minimize in pollutants to runoff. pollutants and activit solvents, landscape mequipment maintenar equipment maintenar CSWMP text), long. The design of the site	1 Designation of a Quadrinistrator. Administrator. 2 11. Spill Prevention and R • A plan must I be at least a p
Potential Sources of Pollution. The CSWMP must list all potential sources of pollution which may reasonably be expected to affect the quality of stormwater discharges associated with construction activity from the site. This shall include, but is not limited to, the following pollutant sources as applicable: • Disturbed and stored soils;	Materials Handling. The CSWMP must describe all Control Measures implemented at the site to minimize impacts from handling significant materials that could contribute pollutants to runoff. These handling procedures can include Control Measures for pollutants and activities such as exposed storage of building materials, paints and solvents, landscape materials, fertilizers or chemicals, sanitary waste material, trash and equipment maintenance or fueling procedures. (City reviews for inclusion only) • A materials handling approach must be provided (can be contained within the CSWMP text). The description should be at least a paragraph (or a few bullets) long. The description itself is not reviewed.	 10. Designation of a Qualified Stormwater Manager, who can be the same as the GEC Administrator. 11. Spill Prevention and Response Plan. (City reviews for inclusion only) A plan must be provided (can be contained within the CSWMP text). Should be at least a paragraph (or a few bullets) long. The plan itself is not reviewed.

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Audit Work Plan GEC Review Audit

 If a CSWMP includes a paragraph or bullet list describing the control measure implementation, that is sufficient. The City is not required to review the content of the paragraph 	
14. Implementation of Control Measures. The CSWMP must include design specifications that contain information on the implementation of the Control Measure in accordance with good engineering hydrologic and pollution control practices; including as applicable drawings, dimensions, installation information, materials, implementation processes, Control Measure-specific inspection expectations, and maintenance requirements. (City reviews for inclusion only)	
 "As applicable" is open to interpretation. This item is fulfilled if the potential sources of pollution included or not included are reasonable, even if they do not match the Auditor's preference / interpretation. 	
 In general, a list of potential pollutants is sufficient – no additional explanation is needed. Only pollutants that are present on site need to be listed. 	
\circ Non-industrial waste sources such as worker trash and portable toilets.	
o Dedicated asphalt, concrete batch plants and masonry mixing stations:	
 Concrete truck/equipment washing, including washing of the concrete truck chute and associated fixtures and equipment; (City reviews for inclusion only) 	
 On-site waste management practices (waste piles, liquid wastes dumpsters); (City reviews for inclusion only) 	
 Routine maintenance activities involving fertilizers, pesticides, herbicides, detergents, fuels, solvents, oils, etc.; (City reviews for inclusion only) 	
 Significant dust or particulate generating processes (e.g., saw cutting material, including dust); (City reviews for inclusion only) 	
 Vehicle and equipment maintenance and fueling; (City reviews for inclusion only) 	

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content of the paragraph.

C-90 CSWMP Audit N. Stauch 5/7/2024

Audit Work Plan GEC Review Audit

construction site owner or operator is responsible for ensuring that all Control Measures located outside of the construction site boundaries, that are being used by the applicable construction site, are properly maintained and in compliance with all terms and conditions of Part I.B.3. The CSWMP must include all information required of and relevant to any such Control Measures located outside the construction site boundaries, including location, installation specifications, design specifications and maintenance requirements. (City reviews for inclusion only)	
15. The CSWMP must include a documented use agreement between the applicable construction site owner or operator and the owner or operator of any Control Measures located outside of the construction site boundaries that are used by the applicable construction site for compliance with the GEC Plan, but not under the direct control of the applicable construction site owner or operator. The applicable	2
 A reference to the GEC Plan is sufficient for design specs and details. GEC Plan does not need to be included in the CSWMP. Additional specs and details in the CSWMP are not required. 	

- If it's additional disturbance on City ROW, additional agreement isn't needed (approval of GEC Plan approves disturbance in the ROW).
- If it's additional disturbance on adjacent property, an email or letter should be included. The City does not review the letter or make sure the letter is signed (or email is sent) from the owner.

2

16. Site Description to include, at a minimum, the following:

- The nature of the construction activity at the site;
- This should include what is being built (apartment buildings, roadway project, etc.). It can be combined with the phasing description or a different part of the CSWMP.
- The proposed schedule for the sequence for major construction activities and the planned implementation of Control Measures for each phase. (e.g.: clearing, grading, utilities, vertical, etc.);

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 Specific dates are not needed. This should be a sequence description (first overlot grading, then road building, then vertical construction as an example).

 Estimates of the total acreage of the site, and the acreage expected to be disturbed by clearing, excavation, grading, or any other construction activities;

One disturbance number fulfills this requirement.

 A summary of any existing data used in the development of the construction site plans or CSWMP that describe the soil or existing potential for soil erosion; (City reviews for inclusion only);

 This should be a sentence stating what data was used (or if there was no data). If WSS information is in the appendix, that counts without additional description in the narrative.

 A description of the percent of existing vegetative ground cover relative to the entire site and the method for determining the percentage; (City reviews for inclusion only);

 This item is fulfilled if the CSWMP contains an estimate of existing cover.

 A description of any allowable non-stormwater discharges at the site, including those being discharged under the applicable low risk discharge guidance policy; (City reviews for inclusion only);

 A list of other discharges is sufficient. If there are no other discharges, a note is not needed.

A description of areas receiving discharge from the site. Including a
description of the immediate source receiving the discharge. If the
stormwater discharge is to a municipal separate storm sewer system,
the name of the entity owning that system, the location of the storm
sewer discharge, and the ultimate receiving water(s); (City reviews for
inclusion only); and

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 Landscaping Plan does not need to be named, as long as there is a reference to the Landscaping Plan (project name is not needed). 		
17. Final Stabilization and Long Term Stormwater Management. The CSWMP must describe the practices used to achieve final stabilization of all disturbed areas at the site and any planned practices to control pollutants in stormwater discharges that will occur after construction operations are completed. This shall include, but is not limited to, Permanent Control Measures, etc. A reference to specifications and/or the site Landscaping Plan may fulfill this requirement, if applicable.	٦	
 Needed for all named stream crossings (based on SpringsView naming). A note is not required if no stream crossings are present in the project area. 		
\circ A description of all stream crossings located within the construction site boundary.		
 A sentence stating what offsite areas discharge to the site (if any) is sufficient. A receiving water should be listed, but City does not review for accuracy. Additional information on downstream drainage system is not needed. 		

City of Colorado Springs Stormwater Enterprise



Chris Bueme C-97 5/8/24

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2.3.4 CSWMP Checklist

The CSWMP shall include the following items. When some sections are not applicable, include a statement to that effect.

For auditor – in general, if a CSWMP item is included in the GEC Plan and the GEC Plan is in the appendix of the CSWMP, that counts. CCM names don't need to match.

need to	1 3. Signature Block • Signature detract	1 2. Subdivision / Subdivision Pla Subdivision Pla name. • Audito providuse a suse a s	1. Name, Address, Phonengineer if applicable.	Tier Checklist Item
Ad <mark>iacent Areas</mark> – A description of neighboring areas such as streams, residential areas, roads. etc. which may be affected by the land disturbance.	Signature Blocks – See SCM Appendix D. • Signatures blocks are reviewed for general conformance (typos, etc. do not detract from the signature block). Only signature blocks required by the SCM need to be included.	Subdivision / Project name - The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name. • Auditor does not check the plat subdivision name, as long as a name is provided. Capital projects and projects not associated with a subdivision can use a separate project name.	Name, Address, Phone Number of the Permittee, GEC Administrator, and preparing engineer if applicable.	

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 GEC Administrator Certification - Include certificate of completion for City-sponsored Stormwater Management and Erosion Control During Construction class or approved equivalent. 	1
• At a minimum, should include self-inspection frequency (14 day with post-storm inspections or 7 day).	
8. Self-Inspections – A description of procedures and a schedule of regular inspections during construction for vegetation, erosion and sediment Control Measure repair, and other protective measures identified in the plan. Refer to SCM Chapter 6, Section 2.2 for specific self-inspection requirements.	1
 Nothing is required if this is not applicable, a note referencing the geotechnical report is sufficient if the report is included in the CSWMP appendix. 	
7. Soil Borings/Tests and Groundwater – Summary of soil borings and tests, including groundwater analysis and plan for safe discharge must be included if appropriate.	2
 A general description of the soils is sufficient. Reviewers aren't checking the specific soil types. Hydrologic Soil Group is not needed, and a WSS printout is not required. If included, a WSS printout fulfills this checklist item. 	
6. Soils—A brief description of the soils on the site including information on soil type and character.	
 A sentence or two describing construction phasing plans for sites over 30 acres. 	
5. Construction Phasing – Sites with land disturbance area greater than 30 acres must address construction phasing, including temporary stabilization methods for areas which will not be disturbed for 14 days at a time.	1
 A sentence with a broad description of the general area (residential, commercial, etc.) is acceptable. 	

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Chris Bueme C-97 5/8/24

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	1			2		2	1	
to, the following pollutant sources as applicable: o Disturbed and stored soils; vehicle tracking of sediments;	13. Potential Sources of Pollution. The CSWMP must list all potential sources of pollution which may reasonably be expected to affect the quality of stormwater discharges associated with construction activity from the site. This shall include, but is not limited	 A materials handling approach must be provided (can be contained within the CSWMP text). The description should be at least a paragraph (or a few bullets) long. The description itself is not reviewed. 	pollutants to runoff. These handling procedures can include Control Measures for pollutants and activities such as exposed storage of building materials, paints and solvents, landscape materials, fertilizers or chemicals, sanitary waste material, trash and equipment maintenance or fueling procedures. (City reviews for inclusion only)	12. Materials Handling. The CSWMP must describe all Control Measures implemented at the site to minimize impacts from handling significant materials that could contribute	 A plan must be provided (can be contained within the CSWMP text). Should be at least a paragraph (or a few bullets) long. The plan itself is not reviewed. 	11. Spill Prevention and Response Plan. (City reviews for inclusion only)	10. Designation of a Qualified Stormwater Manager, who can be the same as the GEC Administrator.	 Only required for CSWMPs approved after 7/1. Equivalents are approved with the CSWMP approval (not a separate approval process).

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 Vehicle and equipment maintenance and fueling; (City reviews for inclusion only)

 Significant dust or particulate generating processes (e.g., saw cutting material, including dust); (City reviews for inclusion only)

Routine maintenance activities involving fertilizers, pesticides, herbicides, detergents, fuels, solvents, oils, etc.; (City reviews for inclusion only)

- On-site waste management practices (waste piles, liquid wastes, dumpsters); (City reviews for inclusion only)
- Concrete truck/equipment washing, including washing of the concrete truck chute and associated fixtures and equipment; (City reviews for inclusion only)
- Dedicated asphalt, concrete batch plants and masonry mixing stations;
- Non-industrial waste sources such as worker trash and portable toilets.
- In general, a list of potential pollutants is sufficient no additional explanation
 is needed. Only pollutants that are present on site need to be listed.
- "As applicable" is open to interpretation. This item is fulfilled if the potential sources of pollution included or not included are reasonable, even if they do not match the Auditor's preference / interpretation.
- 14 Implementation of Control Measures. The CSWMP must include design specifications that contain information on the implementation of the Control Measure in accordance with good engineering hydrologic and pollution control practices; including as applicable drawings, dimensions, installation information, materials, implementation processes, Control Measure-specific inspection expectations, and maintenance requirements. (City reviews for inclusion only)
- If a CSWMP includes a paragraph or bullet list describing the control measure implementation, that is sufficient. The City is not required to review the content of the paragraph.

Management of contaminated soils: (City reviews for inclusion only)
 Loading and unloading operations; (City reviews for inclusion only)

o Outdoor storage activities (erodible building materials, fertilizers

chemicals, etc.); (City reviews for inclusion only)

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(approval of GEC Plan approves disturbance in the ROW).	ted.
 If it's additional disturbance on City ROW, additional agreement isn't needed 	anticipa
	nce is
maintenance requirements. (City reviews for inclusion only)	disturba
boundaries, including location, installation specifications, design specifications and	offsite
of and relevant to any such Control Measures located outside the construction site	No
terms and conditions of Part I.B.3. The CSWMP must include all information required	5.79 ac.
the applicable construction site, are properly maintained and in compliance with all	LOD is
Measures located outside of the construction site boundaries, that are being used by	and ac
construction site owner or operator is responsible for ensuring that all Control	5 70 ac
control of the applicable construction site owner or operator. The applicable	ores is
applicable construction site for compliance with the GEC Plan, but not under the direct	Note:
Measures located outside of the construction site boundaries that are used by the	CMB
construction site owner or operator and the owner or operator of any Control	
15. The CSWMP must include a documented use agreement between the applicable	2
in the CSWMP are not required.	
Plan does not need to be included in the CSWMP. Additional specs and details	
 A reference to the GEC Plan is sufficient for design specs and details. GEC 	

- If it's additional disturbance on City ROW, additional agreement isn't needed (approval of GEC Plan approves disturbance in the ROW).
- included. The City does not review the letter or make sure the letter is signed If it's additional disturbance on adjacent property, an email or letter should be (or email is sent) from the owner.
- 16. Site Description to include, at a minimum, the following:

2

- The nature of the construction activity at the site;
- This should include what is being built (apartment buildings roadway project, etc.). It can be combined with the phasing description or a different part of the CSWMP.
- The proposed schedule for the sequence for major construction each phase. (e.g.: clearing, grading, utilities, vertical, etc.); activities and the planned implementation of Control Measures for

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Specific dates are not needed. This should be a sequence description (first overlot grading, then road building, then vertical construction as an example).

Estimates of the total acreage of the site, and the acreage expected to be disturbed by clearing, excavation, grading, or any other construction activities;

One disturbance number fulfills this requirement.

 A summary of any existing data used in the development of the construction site plans or CSWMP that describe the soil or existing pctential for soil erosion; (City reviews for inclusion only);

This should be a sentence stating what data was used (or if there was no data). If WSS information is in the appendix, that counts without additional description in the narrative.

A description of the percent of existing vegetative ground cover percentage; (City reviews for inclusion only); relative to the entire site and the method for determining the

- This item is fulfilled if the CSWMP contains an estimate of existing cover.
- o A description of any allowable non-stormwater discharges at the site, discharge guidance policy; (City reviews for inclusion only); including those being discharged under the applicable low risk
- A list of other discharges is sufficient. If there are no other discharges, a note is not needed.

o A description of areas receiving discharge from the site. Including a sewer discharge, and the ultimate receiving water(s); (City reviews for the name of the entity owning that system, the location of the storm stormwater discharge is to a municipal separate storm sewer system, description of the immediate source receiving the discharge. If the inclusion only); and

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Chris Bueme C-97 5/8/24

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17. Final Stabilization and Long Term Stormwater Management. The CSWMP must describe the practices used to achieve final stabilization of all disturbed areas at the site and any planned practices to control pollurants in stormwater discharges that will occur after construction operations are completed. This shall include, but is not limited to, Permanent Control Measures, etc. A reference to specifications and/or the site Landscaping Plan may fulfill this requirement, if applicable.	-1
 A description of all stream crossings located within the construction site boundary. Needed for all named stream crossings (based on SpringsView naming). A note is not required if no stream crossings are present in the project area. 	
 A sentence stating what offsite areas discharge to the site (if any) is sufficient. A receiving water should be listed, but City does not review for accuracy. Additional information on downstream drainage system is not needed. 	

Landscaping Plan does not need to be named, as long as there is a reference to the Landscaping Plan (project name is not needed).

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

2.3.4 CSWMP Checklist

The CSWMP shall include the following items. When some sections are not applicable, include a statement to

For auditor – in general, if a CSWMP item is included in the GEC Plan and the GEC Plan is in the appendix of the CSWMP, that counts. CCM names don't need to match.

use a separate project name. 1 3. Signature Blocks – See SCM Appendix D. • Signatures blocks are reviewed detract from the signature block) need to be included.	use a separate p	Auditor does no provided. Capit.	1 2. Subdivision / Project n Subdivision Plat. For pr name.	1 1. Name, Address, Phone I engineer if applicable.	Tier Checklist Item
use a separate project name. **Blocks - See SCM Appendix D.** Signatures blocks are reviewed for general conformance (typos, etc. do not detract from the signature block). Only signature blocks required by the SCM need to be included.	project name.	Auditor does not check the plat subdivision name, as long as a name is provided. Capital projects and projects not associated with a subdivision can	Subdivision / Project name — The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name.	Name, Address, Phone Number of the Permittee, GEC Administrator, and preparing engineer if applicable.	

City of Colorado Springs Stormwater Enterprise



Audit Work Plan September 2021

Chris Bueme 5/9/24 C-107

Audit Work Plan GEC Review Audit

 GEC Administrator Certification – Include certificate of completion for City-sponsored Stormwater Management and Erosion Control During Construction class or approved equivalent. 	
 At a minimum, should include self-inspection frequency (14 day with post- storm inspections or 7 day). 	
8. Self-Inspections—A description of procedures and a schedule of regular inspections during construction for vegetation, erosion and sediment Control Measure repair, and other protective measures identified in the plan. Refer to SCM Chapter 6, Section 2.2 for specific self-inspection requirements.	_
 Nothing is required if this is not applicable, a note referencing the geotechnical report is sufficient if the report is included in the CSWMP appendix. 	
7. Soil Borings/Tests and Groundwater - Summary of soil borings and tests, including groundwater analysis and plan for safe discharge must be included if appropriate.	2
 A general description of the soils is sufficient. Reviewers aren't checking the specific soil types. Hydrologic Soil Group is not needed, and a WSS printout is not required. If included, a WSS printout fulfills this checklist item. 	
6. $\frac{\text{Soils}}{\text{Soils}}$ A brief description of the soils on the site including information on soil type and character.	
 A sentence or two describing construction phasing plans for sites over 30 acres. 	
 Construction Phasing - Sites with land disturbance area greater than 30 acres must address construction phasing, including temporary stabilization methods for areas which will not be disturbed for 14 days at a time. 	-1
A sentence with a broad description of the general area (residential, commercial, etc.) is acceptable.	

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Audit Work Plan GEC Review Audit

	13.		2 12 N	2 11.5	10	
 Disturbed and stored soils; Vehicle tracking of sediments; Management of contaminated soils; (City reviews for inclusion only) Loading and unloading operations; (City reviews for inclusion only) Outdoor storage activities (enoclible building materials, fertilizers, chemicals, etc.); (City reviews for inclusion only) 	Potential Sources of Pollution. The CSWMP must list all potential sources of pollution which may reasonably be expected to affect the quality of stormwater discharges associated with construction activity from the site. This shall include, but is not limited to, the following pollutant sources as applicable:	 A materials handling approach must be provided (can be contained within the CSWMP text). The description should be at least a paragraph (or a few bullets) long. The description itself is not reviewed. 	Materials Handling. The CSWMP must describe all Control Measures implemented at the site to minimize impacts from handling significant materials that could contribute pollutants to runoff. These handling procedures can include Control Measures for pollutants and activities such as exposed storage of building materials, paints and solvents, landscape materials, fertilizers or chemicals, sanitary waste material, trash and equipment maintenance or fueling procedures. (City reviews for inclusion only)	11. Spill Prevention and Response Plan. (City reviews for inclusion only) A plan must be provided (can be contained within the CSWMP text). Should be at least a paragraph (or a few bullets) long. The plan itself is not reviewed.	Designation of a Qualified Stormwater Manager, who can be the same as the GEC Administrator;	 Only required for CSWMPs approved after 7/1. Equivalents are approved with the CSWMP approval (not a separate approval process).

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Audit Work Plan September 2021

Chris Bueme 5/9/24 C-107

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	for

- <u>Significant dust or particulate generating processes</u> (e.g., saw cutting material, including dust); (City reviews for inclusion only)
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- On-site waste management practices (waste piles, liquid wastes, dumpsters); (City reviews for inclusion only)
- Concrete truck/equipment washing, including washing of the concrete truck chute and associated fixtures and equipment; (City reviews for inclusion only)
- Dedicated asphalt, concrete batch plants and masonry mixing stations;
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- In general, a list of potential pollutants is sufficient no additional explanation is needed. Only pollutants that are present on site need to be listed.
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- 14. Implementation of Control Measures. The CSWMP must include design specifications that contain information on the implementation of the Control Measure in accordance with good engineering hydrologic and pollution control practices; including as applicable drawings, dimensions, installation information, materials, implementation processes, Control Measure-specific inspection expectations, and maintenance requirements. (City reviews for inclusion only)
- If a CSWMP includes a paragraph or bullet list describing the control measure implementation, that is sufficient. The City is not required to review the content of the paragraph.

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Audit Work Plan GEC Review Audit

	2	
Measures located outside of the construction site boundaries that are used by the applicable construction site for compliance with the GEC Plan, but not under the direct control of the applicable construction site owner or operator. The applicable construction site owner or operator is responsible for ensuring that all Control Measures located outside of the construction site boundaries, that are being used by the applicable construction site, are properly maintained and in compliance with all terms and conditions of Part I.B.3. The CSWMP must include all information required of and relevant to any such Control Measures located outside the construction site boundaries, including location, installation specifications, design specifications and maintenance requirements. (City reviews for inclusion only)	15. The CSWMP must include a documented use agreement between the applicable construction site owner or operator and the owner or operator of any Control	 A reference to the GEC Plan is sufficient for design specs and details. GEC Plan does not need to be included in the CSWMP. Additional specs and details in the CSWMP are not required.

- If it's additional disturbance on City ROW, additional agreement isn't needed (approval of GEC Plan approves disturbance in the ROW).
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- 2
- 16. Site Description to include, at a minimum, the following:
- The nature of the construction activity at the site;
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- The proposed schedule for the sequence for major construction activities and the planned implementation of Control Measures for each phase. (e.g.: clearing, grading, utilities, vertical, etc.);

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Chris Bueme 5/9/24 C-107

Audit Work Plan GEC Review Audit

 Specific dates are not needed. This should be a sequence description (first overlot grading, then road building, then vertical construction as an example).

Estimates of the total acreage of the site, and the acreage expected to be disturbed by clearing, excavation, grading, or any other construction activities;

- One disturbance number fulfills this requirement.
- A summary of any existing data used in the development of the construction site plans or CSWMP that describe the soil or existing potential for soil erosion; (City reviews for inclusion only);
- This should be a sentence stating what data was used (or if there was no data). If WSS information is in the appendix, that counts without additional description in the narrative.

A description of the percent of existing vegetative ground cover

relative to the entire site and the method for determining the

Percentage: (City reviews for inclusion only);
 This item is fulfilled if the CSWMP contains an estimate of

existing cover.

- A description of any allowable non-stormwater discharges at the site, including those being discharged under the applicable low risk discharge guidance policy; (City reviews for inclusion only);
- A list of other discharges is sufficient. If there are no other discharges, a note is not needed.
- A description of areas receiving discharge from the site. Including a
 description of the immediate source receiving the discharge. If the
 stormwater discharge is to a municipal separate storm sewer system,
 the name of the entity owning that system, the location of the storm
 sewer discharge, and the ultimate receiving water(s); (City reviews for
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 A sentence stating what offsite areas discharge to the site (if any) is sufficient. A receiving water should be listed, but City does not review for accuracy. Additional information on downstream drainage system is not needed.

A description of all stream crossings located within the construction site boundary.

 Needed for all named stream crossings (based on SpringsView naming). A note is not required if no stream crossings are present in the project area.

- 17. Final Stabilization and Long Term Stormwater Management. The CSWMP must describe the practices used to achieve final stabilization of all disturbed areas at the site and any planned practices to control pollutants in stormwater discharges that will occur after construction operations are completed. This shall include, but is not limited to, Permanent Control Measures, etc. A reference to specifications and/or the site Landscaping Plan may fulfill this requirement, if applicable.
- Landscaping Plan does not need to be named, as long as there is a reference to the Landscaping Plan (project name is not needed).

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Audit Work Plan GEC Review Audit

2.3.4 CSWMP Checklist

The CSWMP shall include the following items. When some sections are not applicable, include a statement to that effect.

For auditor – in general, if a CSWMP item is included in the GEC Plan and the GEC Plan is in the appendix of the CSWMP, that counts. CCM names don't need to match.

<u>Tier</u>	Checklist Item Permittee is not explicitly stated
1	 Name, Address, Phone Number of the Permittee, GEC Administrator, and preparing engineer if applicable.
1	 Subdivision / Project name - The subdivision name as it appears on the Final Subdivision Plat. For projects not associated with a subdivision, include the project name.
	 Auditor does not check the plat subdivision name, as long as a name is provided. Capital projects and projects not associated with a subdivision can use a separate project name.
_	3. Signature Blocks – See SCM Appendix D.
	 Signatures blocks are reviewed for general conformance (typos, etc. do not detract from the signature block). Only signature blocks required by the SCM need to be included.
2	 Adjacent Areas – A description of neighboring areas such as streams, residential areas, roads, etc., which may be affected by the land disturbance.

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Audit Work Plan September 2021

Chris Bueme 5/9/24 C-108

Audit Work Plan GEC Review Audit

 GEC Administrator Certification – Include certificate of completion for City-sponsored Stormwater Management and Erosion Control During Construction class or approved equivalent. 	_
 At a minimum, should include self-inspection frequency (14 day with post- storm inspections or 7 day). 	
8. Self-Inspections – A description of procedures and a schedule of regular inspections during construction for vegetation, erosion and sediment Control Measure repair, and other protective measures identified in the plan. Refer to SCM Chapter 6, Section 2.2 for specific self-inspection requirements.	-
 Nothing is required if this is not applicable, a note referencing the geotechnical report is sufficient if the report is included in the CSWMP appendix. 	
 Soil Borings/Tests and Groundwater – Summary of soil borings and tests, including groundwater analysis and plan for safe discharge must be included if appropriate. 	2
 A general description of the soils is sufficient. Reviewers aren't checking the specific soil types. Hydrologic Soil Group is not needed, and a WSS printout is not required. If included, a WSS printout fulfills this checklist item. 	
6. $\frac{Soils}{s}$ – A brief description of the soils on the site including information on soil type and character.	
 A sentence or two describing construction phasing plans for sites over 30 acres. 	
5. <u>Construction Phasing</u> — Sites with land disturbance area greater than 30 acres must address construction phasing, including temporary stabilization methods for areas which will not be disturbed for 14 days at a time.	٦
 A sentence with a broad description of the general area (residential, commercial, etc.) is acceptable. 	

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

	-1		2	2	1	
 Disturbed and stored soils; Vehicle tracking of sediments; Management of contaminated soils; (City reviews for inclusion only) Loading and unloading operations; (City reviews for inclusion only) Outdoor storage activities (erodible building materials, fertilizers, chemicals, etc.); (City reviews for inclusion only) 	13. Potential Sources of Pollution. The CSWMP must list all potential sources of pollution which may reasonably be expected to affect the quality of stormwater discharges associated with construction activity from the site. This shall include, but is not limited to, the following pollutant sources as applicable:	equipment maintenance or fueling procedures. (City reviews for inclusion only) • A materials handling approach must be provided (can be contained within the CSWMP text). The description should be at least a paragraph (or a few bullets) long. The description itself is not reviewed.	12. Materials Handling. The CSWMP must describe all Control Measures implemented at the site to minimize impacts from handling significant materials that could contribute pollutants to runoff. These handling procedures can include Control Measures for pollutants and activities such as exposed storage of building materials, paints and solvents landscape materials fortilizers or chemicals capitary waste material track and	11. Spill Prevention and Response Plan. (City reviews for inclusion only) A plan must be provided (can be contained within the CSWMP text). Should be at least a paragraph (or a few bullets) long. The plan itself is not reviewed.	10. Designation of a Qualified Stormwater Manager, who can be the same as the GEC Administrator.	 Only required for CSWMPs approved after 7/1. Equivalents are approved with the CSWMP approval (not a separate approval process).

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Chris Bueme 5/9/24 C-108

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Significant dust or particulate generating processes (e.g. saw cutting	inclusion only)	o Vehicle and equipment maintenance and fueling; (City reviews for	

- originicant dust or particulate generating processes (e.g., saw cuting material, including dust); (City reviews for inclusion only)
- o Routine maintenance activities involving fertilizers, pesticides, herbicides, detergents, fuels, solvents, oils, etc.; (City reviews for inclusion only)
- o On-site waste management practices (waste piles, liquid wastes dumpsters); (City reviews for inclusion only)
- Concrete truck/equipment washing, including washing of the concrete truck chute and associated fixtures and equipment; (City reviews for inclusion only)
- Declicated asphalt, concrete batch plants and masonry mixing stations.
- o Non-industrial waste sources such as worker trash and portable toilets.
- In general, a list of potential pollutants is sufficient no additional explanation
 is needed. Only pollutants that are present on site need to be listed.
- "As applicable" is open to interpretation. This item is fulfilled if the potential sources of pollution included or not included are reasonable, even if they do not match the Auditor's preference / interpretation.
- 14. Implementation of Control Measures. The CSWMP must include design specifications that contain information on the implementation of the Control Measure in accordance with good engineering hydrologic and pollution control practices; including as applicable drawings, dimensions, installation information, materials, implementation processes, Control Measure-specific inspection expectations, and maintenance requirements. (City reviews for inclusion only)
- If a CSWMP includes a paragraph or bullet list describing the control measure implementation, that is sufficient. The City is not required to review the content of the paragraph.

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

	Q.
maintenance requirements. (City reviews for inclusion only)	propose
boundaries, including location, installation specifications, design specifications and	to be
of and relevant to any such Control Measures located outside the construction site	appears
terms and conditions of Part I.B.3. The CSWMP must include all information required	work
the applicable construction site, are properly maintained and in compliance with all	offsite
Measures located outside of the construction site boundaries, that are being used by	size No
construction site owner or operator is responsible for ensuring that all Control	overall
control of the applicable construction site owner or operator. The applicable	than
applicable construction site for compliance with the GEC Plan, but not under the direct	less
Measures located outside of the construction site boundaries that are used by the	LOD is
construction site owner or operator and the owner or operator of any Control	
15. The CSWMP must include a documented use agreement between the applicable	2
in the CSWMP are not required.	
 A reference to the GEC Plan is sufficient for design specs and details. GEC Plan does not need to be included in the CSWMP. Additional specs and details 	

- If it's additional disturbance on City ROW, additional agreement isn't needed (approval of GEC Plan approves disturbance in the ROW).
- If it's additional disturbance on adjacent property, an email or letter should be included. The City does not review the letter or make sure the letter is signed (or email is sent) from the owner.
- 16. Site Description to include, at a minimum, the following:

The nature of the construction activity at the site;

- This should include what is being built (apartment buildings, roadway project, etc.). It can be combined with the phasing description or a different part of the CSWMP.
- The proposed schedule for the sequence for major construction activities and the planned implementation of Control Measures for each phase. (e.g.: clearing, grading, utilities, vertical, etc.);

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 Specific dates are not needed. This should be a sequence description (first overlot grading, then road building, then vertical construction as an example).

Estimates of the total acreage of the site, and the acreage expected to be disturbed by clearing, excavation, grading, or any other construction activities;

- One disturbance number fulfills this requirement.
- A summary of any existing data used in the development of the construction site plans or CSWMP that describe the soil or existing potential for soil erosion; (City reviews for inclusion only);
- This should be a sentence stating what data was used (or if there was no data). If WSS information is in the appendix, that counts without additional description in the narrative.
- relative to the entire site and the method for determining the percentage; (City reviews for inclusion only);

 This item is fulfilled if the CSWMP contains an estimate of

A description of the percent of existing vegetative ground cover

- existing cover.
- A description of any allowable non-stormwater discharges at the site, including those being discharged under the applicable low risk discharge guidance policy; (City reviews for inclusion only);
- A list of other discharges is sufficient. If there are no other discharges, a note is not needed.
- A description of areas receiving discharge from the site. Including a description of the immediate source receiving the discharge. If the stormwater discharge is to a municipal separate storm sewer system, the name of the entity owning that system, the location of the storm sewer discharge, and the ultimate receiving water(s); (City reviews for inclusion only); and

City of Colorado Springs Stormwater Enterprise



Audit Work Plan GEC Review Audit

17. Final Stabilization and Long Term Stormwater Management. The CSWMP must describe the practices used to achieve final stabilization of all disturbed areas at the site and any planned practices to control pollutants in stormwater discharges that will occur after construction operations are completed. This shall include, but is not limited to, Permanent Control Measures, etc. A reference to specifications and/or the site Landscaping Plan may fulfill this requirement, if applicable.	 A description of all stream crossings located within the construction site boundary. Needed for all named stream crossings (based on SpringsView naming). A note is not required if no stream crossings are present in the project area. 	 A sentence stating what offsite areas discharge to the site (if any) is sufficient. A receiving water should be listed, but City does not review for accuracy. Additional information on downstream drainage system is not needed.

 Landscaping Plan does not need to be named, as long as there is a reference to the Landscaping Plan (project name is not needed).

City of Colorado Springs Stormwater Enterprise





Appendix C1: PCM Location Map





Appendix C2: PCM Report Summaries



Permanent Control Measures Audit

Project Name: PCM-04 Rio Grande Apartments	
Date: 02/29/2024	
Project Owner: 345 Rio Grande LLC	
HDR Project No:	
Weather Conditions: 65 ^F , Sunny	

PCM Document Review

Does the City have the following documents on file, and do the documents appear to be appropriate for the specific PCM:

•	Drainage Report (Drainage Letter, etc.)	Yes
•	PE Certification	Yes
•	As-Built Plan	Yes
•	Reference to Appropriate Inspection & Maintenance Plan	Yes
•	City Final Acceptance Letter	Yes
•	Does the Report contain appropriate WQ Storage	Yes
	Volume for specific PCM	

PCM Field Inspection

Is the PCM located per the plan?	Yes
 Do site grading and constructed conveyance systems appear to direct runoff from areas identified in the drainage report for treatment by the control measure? 	Yes

Are the following features present based on the type of control measure and installed in accordance with the approved drainage report?

BIORETENTION/SAND FILTER BASIN	
INFILTRATION MEDIA (PRESENT BASED ON OBSERVATION)	YES
UNDERDRAIN CONNECTION TO OUTLET STRUCTURE	YES
OUTLET STRUCTURE	YES
EMERGENCY OVERFLOW	YES

Notes: .



Pictures:

















Permanent Control Measures Audit

Project Name: PCM-16 CI	ark Place Filing No. 1
Date: 2/29/2024	
Project Owner: Steve Hamm	ers
HDR Project No:	
Weather Conditions: 65	F , Sunny

PCM Document Review

Does the City have the following documents on file, and do the documents appear to be appropriate for the specific PCM:

•	Drainage Report (Drainage Letter, etc.)	Yes
•	PE Certification	Yes
•	As-Built Plan	Yes
•	Reference to Appropriate Inspection & Maintenance Plan	Yes
•	City Final Acceptance Letter	Yes
•	Does the Report contain appropriate WQ Storage	Yes
	Volume for specific PCM	

PCM Field Inspection

•	Is the PCM located per the plan?	Yes
•	Do site grading and constructed conveyance systems	Yes
	Appear to direct runoff from areas identified in the drainage Report for treatment by the control measure?	

Are the following features present based on the type of control measure and installed in accordance with the approved drainage report?

EXTENDED DETENTION BASIN (EDB)	
FOREBAY(S)	YES
MICROPOOL	YES
LOW-FLOW CHANNEL	YES
OUTLET STRUCTURE	YES
EMERGENCY OVERFLOW	YES

Notes: Location is fenced in and locked due to homeless active behind the business causing issues to the structures. Small washout that was reconstructed on the northern side of the basin.



Pictures:













PCM Audit

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Permanent Control Measures Audit

Project Name: PCM-20 Flying Horse No. 4 Torino Filing No. 1 Extended Detention Water Quality Facility

Date: 5/9/2024

Project Owner: Flying Horse Development LLC

HDR Project No: PCM-20_00004

Weather Conditions: 65 F, Sunny

PCM Document Review

Does the City have the following documents on file, and do the documents appear to be appropriate for the specific PCM: EXTENDED DETENTION BASIN

•	Drainage Report (Drainage Letter, etc.)	Yes
•	PE Certification	Yes
•	As-Built Plan	Yes
•	Reference to Appropriate Inspection & Maintenance Plan	Yes
•	City Final Acceptance Letter	Yes
•	Does the Report contain appropriate WQ Storage	Yes
	Volume for specific PCM	

PCM Field Inspection

Is the PCM located per the plan?

Yes Yes

Do site grading and constructed conveyance systems
 Appear to direct runoff from areas identified in the drainage
 Report for treatment by the control measure?

Are the following features present based on the type of control measure and installed in accordance with the approved drainage report?

EXTENDED DETENTION BASIN (EDB)	
FOREBAY(S)	YES
MICROPOOL	YES
LOW-FLOW CHANNEL	YES
OUTLET STRUCTURE	YES
EMERGENCY OVERFLOW	YES

Notes: EDB constructed in the correct location and with all the necessary features. Area is a bit overgrown.





FDR























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Permanent Control Measures Audit

Yes

Project Name: PCM-23 Powerwood Filing No. 2 Cottonwood Creek Drainage Basin

Date: 5/9/2024

Project Owner: Cottonwood Housing Company, LLC

HDR Project No: PCM-23_OM00260

Weather Conditions: 65 F, Sunny

PCM Document Review

Does the City have the following documents on file, and do the documents appear to be appropriate for the specific PCM: EXTENDED DETENTION BASIN

•	Drainage Report (Drainage Letter, etc.)	Yes
•	PE Certification	Yes
•	As-Built Plan	Yes
•	Reference to Appropriate Inspection & Maintenance Plan	Yes
•	City Final Acceptance Letter	Yes
•	Does the Report contain appropriate WQ Storage	Yes
	Volume for specific PCM	

PCM Field Inspection

• Is the PCM located per the plan? Yes

Do site grading and constructed conveyance systems
 Appear to direct runoff from areas identified in the drainage
 Report for treatment by the control measure?

Are the following features present based on the type of control measure and installed in accordance with the approved drainage report?

EXTENDED DETENTION BASIN (EDB)	
FOREBAY(S)	YES
MICROPOOL	YES
LOW-FLOW CHANNEL	YES
OUTLET STRUCTURE	YES
EMERGENCY OVERFLOW	YES

Notes: Two major drainage pipes outlet into this basin. Water level was high when inspected due to recent rainfall.

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Pictures:

FDS





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Permanent Control Measures Audit

Project Name: PCM-39 Dusty Hills Filing No. 1

Date: 5/9/2024

Project Owner: Dusty Hills Incorporated

HDR Project No: PCM-39_OM00309B

Weather Conditions: 65 F, Sunny

PCM Document Review

Does the City have the following documents on file, and do the documents appear to be appropriate for the specific PCM: SAND FILTER

•	Drainage Report (Drainage Letter, etc.)	Yes
•	PE Certification	Yes
•	As-Built Plan	Yes
•	Reference to Appropriate Inspection & Maintenance Plan	Yes
•	City Final Acceptance Letter	Yes
•	Does the Report contain appropriate WQ Storage	Yes
	Volume for specific PCM	

PCM Field Inspection

Is the PCM located per the plan?
 Do site grading and constructed conveyance systems
 Appear to direct runoff from areas identified in the drainage
 Report for treatment by the control measure?

Are the following features present based on the type of control measure and installed in accordance with the approved drainage report?

BIORETENTION/SAND FILTER BASIN	
INFILTRATION MEDIA (PRESENT BASED ON OBSERVATION)	YES
UNDERDRAIN CONNECTION TO OUTLET STRUCTURE	YES
OUTLET STRUCTURE	N/A
EMERGENCY OVERFLOW	YES

Notes: Sand filter feature had key elements and was constructed in the correct location. Per design, no traditional outlet structure. The underdrain PVC and Cleanout are visible and in good condition. The emergency overflow, outlets to the roadway.







Permanent Control Measures Audit

Project Name: PCM-44 Lot 1, Staybridge Suites Filing No. 1

Date: 5/15/2024, 10/18/2024

Project Owner: Staybridge Suites

HDR Project No: PCM-44_OM00326

Weather Conditions: 65 F, Partly Sunny

PCM Document Review

Does the City have the following documents on file, and do the documents appear to be appropriate for the specific PCM: SAND FILTER BASIN

•	Drainage Report (Drainage Letter, etc.)	Yes
•	PE Certification	Yes
•	As-Built Plan	Yes
•	Reference to Appropriate Inspection & Maintenance Plan	Yes
•	City Final Acceptance Letter	Yes
•	Does the Report contain appropriate WQ Storage	Yes
	Volume for specific PCM	

PCM Field Inspection

Is the PCM located per the plan?
 Do site grading and constructed conveyance systems
 Appear to direct runoff from areas identified in the drainage Report for treatment by the control measure?

Are the following features present based on the type of control measure and installed in accordance with the approved drainage report?

BIORETENTION/SAND FILT	ER BASIN
INFILTRATION MEDIA (PRESENT BASED ON	OBSERVATION) YES
UNDERDRAIN CONNECTION TO OUTLET ST	RUCTURE YES
OUTLET STRUCTURE	YES
EMERGENCY OVERFLOW	YES, TO ROADWAY

Notes: Sand filter constructed in the correct location. Underdrain connection and outlet structure are present. One Underdrain cleanout connection is broken and needs replacement.

10/18/2024 Notes: Trash has been cleaned since original site visit



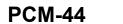




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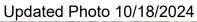






PCM Audit
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Photo: 5/15/2024









Permanent Control Measures Audit

Project Name: PCM-62 Lot 1, SAM'S PROPERTIES FILING NO. 1

Date: 5/15/2024, 10/18/2024

Project Owner: REALTY INCOME PROPERTIES 25, LLC

HDR Project No: PCM-62_OM00426

Weather Conditions:

PCM Document Review

Does the City have the following documents on file, and do the documents appear to be appropriate for the specific PCM: ADS Barracuda Stormwater Separator

•	Drainage Report (Drainage Letter, etc.)	No
•	PE Certification	Yes

• As-Built Plan Yes

Reference to Appropriate Inspection & Maintenance Plan No

City Final Acceptance Letter
 Yes

Does the Report contain appropriate WQ Storage
 Volume for specific PCM

No info in FDR or water quality calcs related to a stormwater separator.

PCM Field Inspection

• Is the PCM located per the plan? Yes

Do site grading and constructed conveyance systems
 Appear to direct runoff from areas identified in the drainage
 Report for treatment by the control measure?

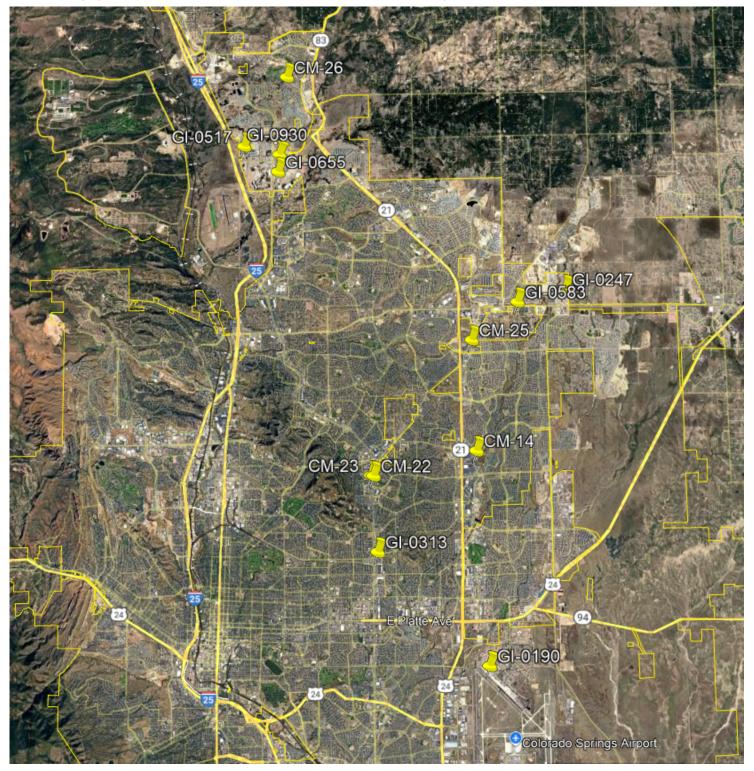
Notes:.10/18/24: Pulled manhole lid – able to see inside the vault. Field review matches plans for the flow though device.







Appendix D1: CM Location Map





Appendix D2: CM Report Summaries



Project Name: CM-14 KMX - CO Springs

Date: 5/15/2024

Project Owner: Carmax

Weather Conditions: 70° Sunny

CM Document Review

Does the City have the following documents on file, and do the documents appear to be appropriate for the specific CM:

Drainage Report (Drainage Letter, etc.)

Yes

As-Built Plan

Yes

Reference to Appropriate Inspection & Maintenance Plan

Yes

CM Field Inspection

• Is the CM located per the plan?

Yes

Do site grading and constructed conveyance systems
 Appear to direct runoff from areas identified in the drainage
 Report for treatment by the control measure?

Are the following features present based on the type of control measure and installed in accordance with the approved drainage report?

motanoa in accordance with the approved aramage report.		
BIORETENTION/SAND FILTER BASIN		
INFILTRATION MEDIA (PRESENT BASED ON OBSERVATION)	YES	
UNDERDRAIN CONNECTION TO OUTLET STRUCTURE	YES	
OUTLET STRUCTURE	YES	
EMERGENCY OVERFLOW	YES	

Notes:

Labeled as settling pond with underdrain throughout. Outlet structure is present from already constructed drainage system.

















Project Name: CM-22 Proposed 18" RCP Storm Sewer / Bio Retention Ponds

Date: 5/15/2024

Project Owner: The Residence at Village Green

Weather Conditions: 70° Sunny

CM Document Review

Does the City have the following documents on file, and do the documents appear to be appropriate for the specific CM:

Drainage Report (Drainage Letter, etc.)

Yes

As-Built Plan

Yes

Reference to Appropriate Inspection & Maintenance Plan

Yes

CM Field Inspection

• Is the CM located per the plan?

Yes

Do site grading and constructed conveyance systems
 Appear to direct runoff from areas identified in the drainage
 Report for treatment by the control measure?

Are the following features present based on the type of control measure and installed in accordance with the approved drainage report?

BIORETENTION/SAND FILTER BASIN	
INFILTRATION MEDIA (PRESENT BASED ON OBSERVATION)	YES
UNDERDRAIN CONNECTION TO OUTLET STRUCTURE	YES
OUTLET STRUCTURE	YES
EMERGENCY OVERFLOW	YES

Notes:

Plans labeled as Proposed 18" RCP Storm Sewer Profile, project contains 2 small retention ponds with outlet to proposed storm sewer system.



FDS









Project Name: CM-23 Proposed 18" RCP Storm Sewer / Bio Retention Ponds	
Date: 5/15/2024	
Project Owner: The Residence at Village Green	
HDR Project No:	
Weather Conditions: 70° Sunny	
CM Document Review	
Does the City have the following documents on file, and do the appropriate for the specific CM:	documents appear to be
 Drainage Report (Drainage Letter, etc.) As-Built Plan Reference to Appropriate Inspection & Maintenance Plan 	Yes Yes Yes
CM Field Inspection	
 Is the CM located per the plan? Do site grading and constructed conveyance systems Appear to direct runoff from areas identified in the drainage Report for treatment by the control measure? 	Yes Yes

Are the following features present based on the type of control measure and installed in accordance with the approved drainage report?

BIORETENTION/SAND FILTER BASIN	
INFILTRATION MEDIA (PRESENT BASED ON OBSERVATION)	YES
UNDERDRAIN CONNECTION TO OUTLET STRUCTURE	YES
OUTLET STRUCTURE	YES
EMERGENCY OVERFLOW	YES

Notes:

Plans labeled as Proposed 18" RCP Storm Sewer Profile, project contains 2 small retention ponds with outlet to proposed storm sewer system.















Project Name: PCM-25 Lot 1, Tutt Corners Filing No.2 SWQ Rain Garden Revision

Date: 5/15/2024

Project Owner: Starbucks

Weather Conditions: 70° Sunny

CM Document Review

Does the City have the following documents on file, and do the documents appear to be appropriate for the specific CM:

Drainage Report (Drainage Letter, etc.) Yes

• As-Built Plan Yes

Reference to Appropriate Inspection & Maintenance Plan

CM Field Inspection

Is the CM located per the plan?

Yes Yes

Do site grading and constructed conveyance systems
 Appear to direct runoff from areas identified in the drainage
 Report for treatment by the control measure?

Notes:

Plans labeled as Revision to 15" storm outfall per utility conflict. Revision connected to SWQ rain garden.







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Yes

Project Name: CM-26 Flying Horse No.5 Milan: Filling No. 3 Storm Sewer Plan Including Water Quality Facility

Date: 5/27/2024

Project Owner: Classic Development - Flying Horse, LLC

Weather Conditions: 90° Sunny

CM Document Review

Does the City have the following documents on file, and do the documents appear to be appropriate for the specific CM:

- Drainage Report (Drainage Letter, etc.)
- As-Built Plan Yes
- Reference to Appropriate Inspection & Maintenance Plan

CM Field Inspection

- Is the CM located per the plan? Yes
- Do site grading and constructed conveyance systems
 Yes
 Appear to direct runoff from areas identified in the drainage
 Report for treatment by the control measure?

Are the following features present based on the type of control measure and installed in accordance with the approved drainage report?

BIORETENTION/SAND FILTER BASIN	
INFILTRATION MEDIA (PRESENT BASED ON OBSERVATION)	YES
UNDERDRAIN CONNECTION TO OUTLET STRUCTURE	YES
OUTLET STRUCTURE	YES
EMERGENCY OVERFLOW	YES

Notes:

Plans labeled as Proposed 18" RCP Storm Sewer Profile, project contains 2 small retention ponds with outlet to proposed storm sewer system.

FDS







